

**APPLICATION NO** PA/2021/538

**APPLICANT** Dawson

**DEVELOPMENT** Planning permission to erect a single-storey side extension, a two-storey rear extension with a porch to the rear, and an extension to the garage

**LOCATION** The Lilacs, 51 Main Street, Saxby All Saints, DN20 0QF

**PARISH** Saxby All Saints

**WARD** Brigg and Wolds

**CASE OFFICER** Mark Niland

**SUMMARY RECOMMENDATION** **Grant permission subject to conditions**

**REASONS FOR REFERENCE TO COMMITTEE** Objection by Saxby All Saints Parish Council

## **POLICIES**

### **National Planning Policy Framework:**

Paragraph 195 – Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal.

**North Lincolnshire Local Plan:** DS1, DS5, HE2

**North Lincolnshire Core Strategy:** CS5, CS6

## **CONSULTATIONS**

**Highways:** No comments to make.

**Historic Environment Record:** No further recommendations.

**Conservation:** No objection. Should the planning department be mindful to approve the application then appropriate conditions should be included requiring details of the facing and roofing materials, and scale drawings of the proposed windows and doors with material specification, to be submitted for consideration before installation.

**Tree Officer:** Objects but no direct response to arboricultural survey or how suitable the garage scheme is.

## PARISH COUNCIL

The proposal is not in keeping with the village and further extension would take the property away too much from its original appearance.

## PUBLICITY

Advertised by site and press notice. Objections have been received on the following grounds:

- the character of the development would not accord with the property
- impact upon the wider historic environment.

## ASSESSMENT

### Planning history

PA/2003/1015: Planning permission to erect a two-storey extension and replacement conservatory – refused 24/11/2003

PA/2003/1941: Planning permission to erect a two-storey extension and conservatory – approved 29/03/2004

PA/2018/797: Notice of intention to fell a conifer tree within Saxby All Saints' conservation area – approved 07/06/2018

PA/2019/329: Planning permission to replace timber windows – approved 29/05/2019

PA/2019/1126: Planning permission to erect a brick wall along the north-western boundary – approved 02/10/2019

PA/2019/903: Notice of intention to fell 9 trees and undertake various pruning works on 12 other trees, all within Saxby All Saints' conservation area – approved 18/07/2019

PA/2021/267: Notice of intention to fell 4 trees (various species) and prune a yew within Saxby All Saints' conservation area – approved 30/03/2021

### Site characteristics

The site is within the development boundary of Saxby All Saints as identified by the Housing and Employment Land Allocations DPD 2016. It is also within the conservation area and within an area covered by an article 4 direction. The building is a modest detached cottage set back from Main Street. The Lilacs is identified as a building of townscape merit within the Saxby All Saints Conservation Area Appraisal. It is painted in a cream finish which matches other dwellings in the locality.

### Proposal

Planning permission is sought to erect a single-storey side extension, a two-storey rear extension with a porch to the rear, and an extension to the garage. **The following issues are relevant to this assessment:**

- **character impacts/historic environment**
- **residential amenity**
- **highway safety**
- **trees.**

### **Character impacts**

Policy CS5 of the Core Strategy states that all new development in North Lincolnshire should be well designed and appropriate for its context. It should contribute to creating a sense of place. The council will encourage contemporary design provided that it is appropriate for its location and is informed by its surrounding context. Design which is inappropriate to the local area or fails to maximise opportunities for improving the character and quality of the area will not be acceptable.

Policy CS6 of the Core Strategy states that the council will seek to protect, conserve and enhance North Lincolnshire's historic environment, as well as the character and setting of areas of acknowledged importance including historic buildings, conservation areas, listed buildings (both statutory and locally listed), registered parks and gardens, scheduled ancient monuments and archaeological remains. All new development must respect and enhance the local character and distinctiveness of the area in which it would be situated, particularly in areas with high heritage value.

Policy HE2 of the local plan is concerned with development in conservation areas and seeks to protect and enhance.

All are considered relevant.

The conservation officer has been involved in amendments and has stated the following in relation to the extensions:

'The (single-storey side) extension has been stepped back from the gable end. This will reduce its visual impact as viewed from Main Street. This will also enable the original form of the cottage to be clearly seen and interpreted. The (rear) extension has been lowered below the ridge height so now it can clearly be seen as a subservient extension and again this will enable the original form of the cottage to be clearly seen and interpreted.'

In relation to the garage the officer states:

The garage has also been amended to retain the original garage, a former 19th century outbuilding also cottage designated as a building of townscape merit in the adopted Saxby Conservation Area Appraisal. This outbuilding has been added to with a lightweight timber car port construction. This retains the 19th [century] outbuilding and its contribution to the conservation area character. This will also enable the original form of the outbuilding to be clearly seen and interpreted. The timber construction of the car port is a suitable material for this rural location. There is now no objection to the proposed garage.

The officer has no objections to the proposal subject to the control of materials and further information on window details. The proposal is therefore considered to align with policies CS5 and CS6 of the Core Strategy and HE2 of the local plan.

### **Residential amenity**

Policy DS5 of the North Lincolnshire Local Plan is concerned with residential extensions. It states that planning applications for residential extensions and the erection of garages, outbuildings, walls and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, an overbearing impact or loss of privacy to adjacent dwellings. The proposals should also be sympathetic in design, scale and materials to the existing dwelling and its neighbours.

The proposal has a sufficient separation distance from all other dwellings so as not to give rise to any unacceptable overshadowing/overbearing impacts. Furthermore, all openings are positioned such that they would not give rise to any unacceptable levels of visual intrusion.

It is therefore considered that the proposal would accord with policy DS5 of the North Lincolnshire Local Plan and, in respect of the assessment upon residential amenity, is considered acceptable

### **Highway safety**

Policy T2 of the North Lincolnshire Local Plan states that all developments should be served by a satisfactory access. Policy T19 is concerned with both parking standards and highway safety.

The council's Highways department has been consulted and has no objections to the proposal subject to the imposition of conditions relating to the laying out of the access and hard area prior to occupation.

The applicant seeks to retain the existing access arrangement as well as provide off-street parking provision. It is therefore considered that the proposal is in accordance with policies T2 and T19 of the North Lincolnshire Local Plan and is acceptable.

### **Trees**

Policy LC12 of the local plan is concerned with the protection of trees. It states that proposals for all new development will, wherever possible, ensure the retention of trees, woodland and hedgerows. Particular regard will be given to the protection of these features within the setting of settlements, the protection of ancient woodlands and historic hedgerows, and the amenity value of trees within built-up areas.

The tree officer has been consulted and considers that additional information is required. However, the applicant has provided an arboricultural report stating that a foundation solution for the garage can be engineered to prevent damage to the roots. The tree officer has not responded to this directly. It is considered that all manner of engineering solutions could be put forward, especially given the timber frame structure that would sit on top. Therefore, a condition relating to foundation design will be attached to any permission.

It is therefore considered that the proposal would accord with policy LC12 of the North Lincolnshire Local Plan.

## **Conclusion**

This proposal represents a sustainable form of development that would accord with the development plan.

### **RECOMMENDATION      Grant permission subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

P002-Rev B  
P001 Rev B.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

Prior to any works to the garage, details of foundation design shall be submitted to and agreed in writing with the local planning authority. It shall then be built in accordance with those details.

Reason

To protect existing trees on the site.

4.

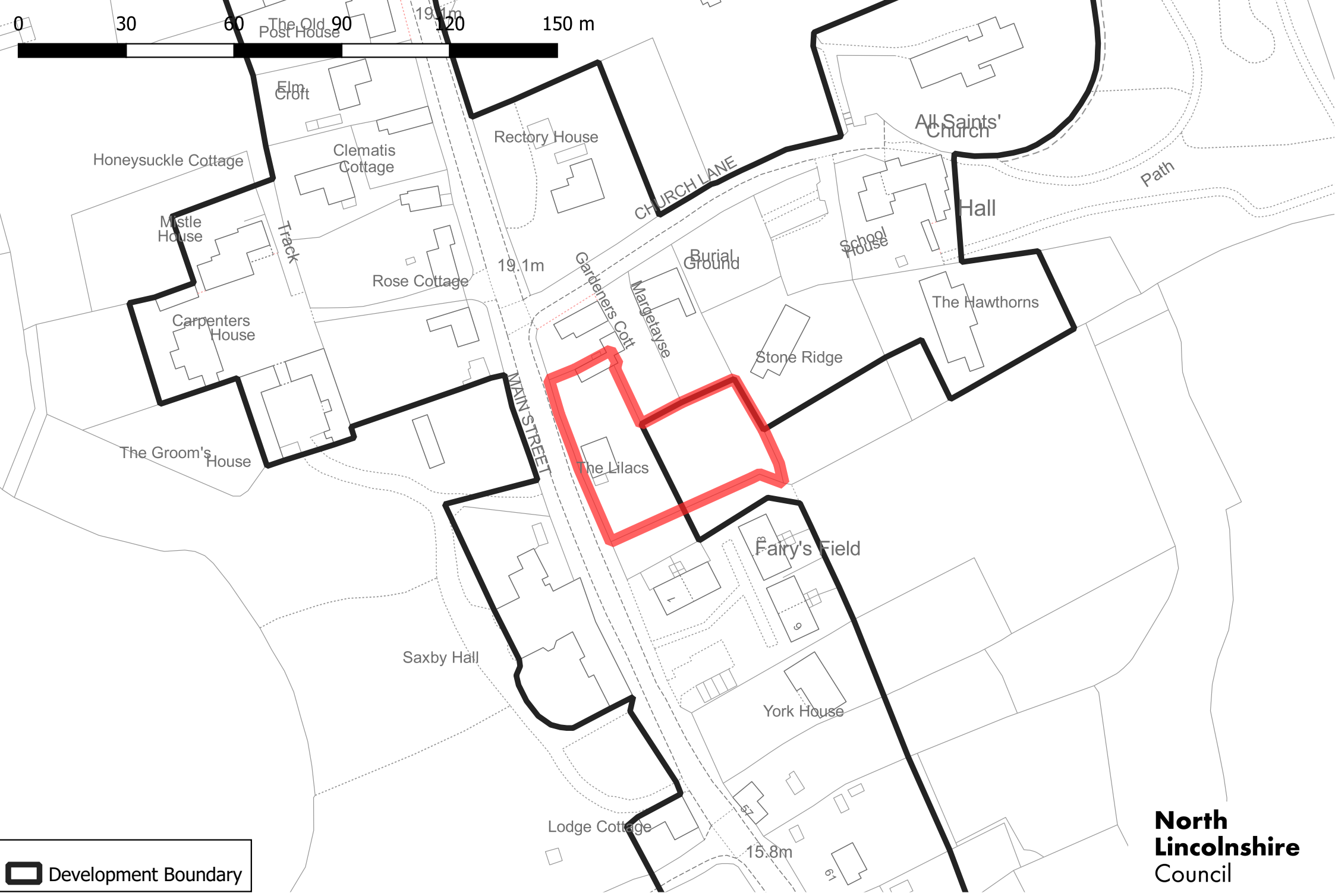
Prior to any above-ground works, details of all external materials (including openings) to be used in the construction of the extension and garage shall be submitted to and agreed in writing with the local planning authority. The details of openings shall be provided on plan at a scale of 1:20.

Reason

To protect the historic environment.

### **Informative**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



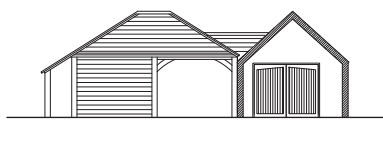
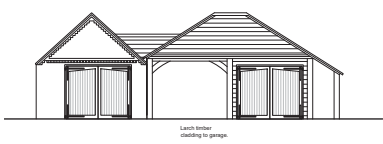
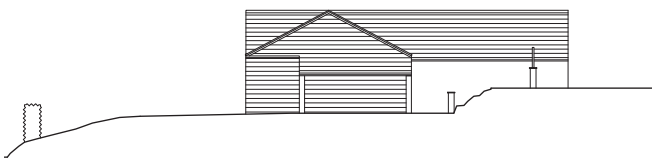
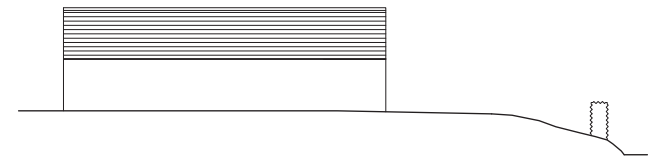
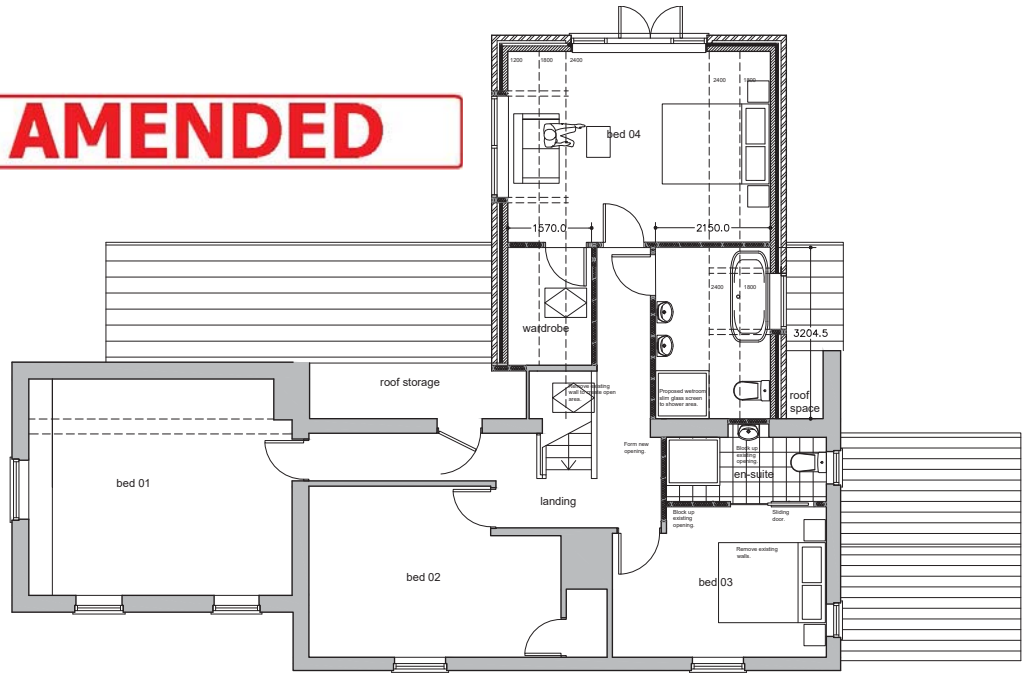
 Development Boundary

**PA/2021/538**

**North  
Lincolnshire  
Council**

# PA/2021/538 Proposed layout and elevations (not to scale)

**AMENDED**

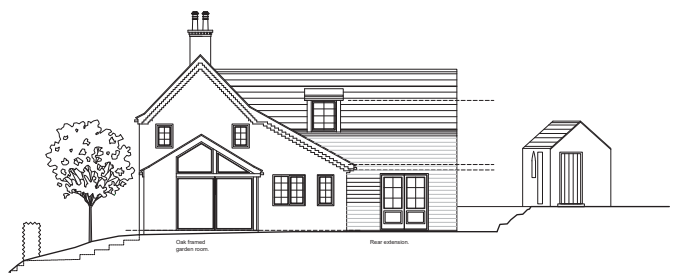
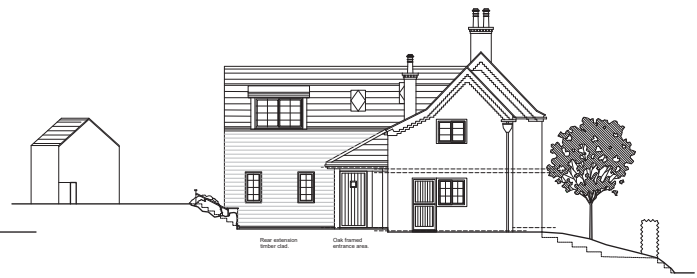
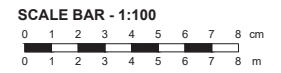


Proposed Garage Elevations 1:100

NOTES  
Do not scale from this drawing. Only figured dimensions are to be taken from this drawing.  
The contractor must verify all dimensions on site before commencing any work or shop drawings. The contractor must report any discrepancies to the designer before commencing work. If this drawing exceeds the quantities taken in any way, the designer is to be informed before the work is initiated.  
Work within The Construction (Design and Management) Regulations 1994 is not to start until a Health and Safety Plan has been produced.

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Rev.	Description	By	Date	Chk	Chd Date
A	Amendments	ja	01/04/17		



CLIENT: Mr and Mrs Dawson	PROJECT: The Lilacs, 51 Main Street, Saby-All-Saints, Brigg, DN20 0QF	DWG. TITLE: Proposed first floor plan and elevations.	SCALE: 1 / 100, 50, 500	DRAWING STATUS: Planning	DRAWN: ja	DATE: Sep 2021	PROJECT No: 20042	DWG. No: P-002	REV: B
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