

APPLICATION NO PA/2021/1870

APPLICANT Miss Sally-Anne Moxon

DEVELOPMENT Planning permission to erect a single-storey extension to an existing annexe to provide a separate dwelling, including the creation of a new vehicular access to Daffodil Farmhouse

LOCATION Daffodil Farmhouse and Annexe, West End Road, Epworth, DN9 1LA

PARISH Epworth

WARD Axholme Central

CASE OFFICER Scott Jackson

SUMMARY RECOMMENDATION Grant permission subject to conditions

REASONS FOR REFERENCE TO COMMITTEE Departure from the development plan

POLICIES

National Planning Policy Framework: Sections 5, 12 and 16 apply.

North Lincolnshire Local Plan: Policies H5, H8, DS1, DS5, RD2, RD9, T1, T2, T19 and LC14 apply.

North Lincolnshire Core Strategy: Policies CS1, CS2, CS3, CS5, CS6, CS7, CS8 apply.

CONSULTATIONS

Highways: No objection, but recommend conditions.

LLFA Drainage: No objection, but recommend conditions and informatives.

Environmental Protection: No comments to make.

Historic Environment Record (Archaeology): The site is within the Area of Special Historic Landscape Interest of the Isle of Axholme (local plan policy LC14). It is not considered that this proposal would adversely affect the character of the landscape heritage asset or its setting at this location. No objection subject to standard conditions removing permitted development rights to avoid the unregulated extension of the built environment into the protected historic landscape area at the rear of the dwelling.

TOWN COUNCIL

No objection and support the application on the following basis:

- surface water run-off from the hard-paved areas on site being addressed

- the extension not extending into the historic landscape or going beyond the development limit
- a recommendation that a clear boundary between Ashtree Lodge and the extension should be provided.

PUBLICITY

A site notice has been displayed. One response has been received objecting to the proposal on the following grounds:

- the extension will impact on the view of the neighbour
- overlooking/loss of privacy
- the proposal shows no provision of boundary treatment along the party boundary
- disruption and noise during the construction period.

ASSESSMENT

The application site consists of a two-storey detached dwelling with a single-storey detached residential annexe to the south. It is located to the west of West End Road, within a spacious plot and in Flood Zone 2. There is an existing driveway in the south-eastern corner of the site and a substantial cluster of trees within the front garden. There are dwellings either side of the site and on the opposite side of West End Road. The dwelling is in the centre of the site and the single-storey annexe is positioned towards the southern boundary, providing additional residential accommodation in the form of a bedroom, bathroom, living room and kitchen. Planning permission is sought to erect a two-storey extension to the front of the annexe to convert it to a dwelling, together with the provision of a new vehicular access and drive to serve the existing house and the division of the land (through the creation of a new boundary between the properties).

The main issues in the determination of this application are the principle of development, and impact on residential amenity and upon the character and appearance of the street scene.

Principle

The site is outside the defined settlement boundary for Epworth, on land classed as countryside. The proposal to extend the existing residential annexe to form a separate dwelling will result in the creation of an additional dwelling outside the defined settlement boundary, therefore policies RD2 of the North Lincolnshire Local Plan (NLLP) and CS3 of the adopted Core Strategy apply.

Policy RD2 states development in the countryside will be strictly controlled and only permitted for development which is for the re-use of existing rural buildings, such as in the case here. Policy CS3 of the Core Strategy is concerned with development limits. It sets out the considerations to be taken into account when applying development limits. The Housing & Employment Land Allocations DPD (HELADPD) sets out the development boundaries and these are contained within the proposal maps and relevant insets. Policy CS3 states that development outside these defined boundaries will be restricted to that which is essential to the functioning of the countryside.

It is also highlighted that North Lincolnshire Council can currently demonstrate a deliverable five-year housing land supply. Notwithstanding the development plan policies set out above, the National Planning Policy Framework (NPPF) is a material consideration when determining planning applications. Paragraph 11(d) of the NPPF states that housing applications should be considered in the context of the presumption in favour of sustainable development. Whilst it is accepted the existing building is outside the defined settlement boundary for Epworth, the proposed creation of a stand-alone dwelling is considered to be sustainable in this location as it is within walking and cycling distance of Epworth town centre and its range of facilities and sustainable modes of travel. These facilities are accessible via a highway footpath with streetlights. Furthermore, the building is already in use for domestic purposes, will result in an additional dwelling which will contribute to the local housing land supply figure, is in an area which is surrounded by residential development (effectively it is an infill dwelling) and the proposal will not result in the loss of any trees or impact on any protected landscapes in the countryside. It is therefore considered the proposal accords with the NPPF in that it constitutes sustainable development.

The proposal is for the extension/alteration of an existing rural building as a stand-alone dwelling. It is considered the proposal broadly complies with these policies and that policy RD9 of the NLLP should also be applied.

Policy RD9 covers the re-use and/or adaptation of rural buildings for residential use in the countryside. As stated in the previous paragraph, this is an existing building within the countryside and therefore, in the context of assessing this application, is a rural building. In addition, it is already in use for residential purposes, albeit as ancillary accommodation to the host dwelling known as Daffodil Farmhouse. It is accepted that policy RD9 is more focused on agricultural barns or those which are considered to be important to the rural scene and/or architectural merit; however, the building resembles a detached bungalow in the grounds of an existing house and is capable of conversion without major alteration as it stands (given it is already in use as a residential annexe).

In addition, this proposal seeks to extend the existing annexe, a two-storey extension being proposed to the front. This will have the benefit of creating an additional dwelling in a sustainable location and will provide the necessary level of internal space for the occupants. The building, in its extended form, would have the benefit of creating a new dwelling and would allow the host dwelling (Daffodil Farmhouse) to co-exist alongside it without any buildings being displaced or being required for further ancillary residential use. The plans show the extension can be accommodated to the front of the annexe and the building, in its extended form, could exist as a dwelling with sufficient separation distance from both the host dwelling and neighbouring dwellings, and with the necessary residual land for private amenity space and off-street parking to be provided. The character of the area will not be adversely affected as the existing building is set back from the public highway at a distance of approximately 39m; it is not highly visible in the street scene; the extension is proposed to be constructed from materials to match the appearance of the existing annexe, namely a mixed red brick and slate roof tile, thereby ensuring visual assimilation into the street scene; and the dwelling will be flanked by a dwelling either side (the character of the area is residential and linear in form on both sides of West End Road). The scale and size of the extension is considered commensurate to the size of the building to which it will be attached, it respects its design through the continuation of the same pitched roof to the front and the proposal will not result in the loss of any habitat for protected species. The proposal is therefore considered to be broadly consistent with policy RD9 of the NLLP.

In conclusion, the development, whilst outside the defined settlement boundary, is akin to an infill plot between existing residential properties in this part of Epworth, in a sustainable location within walking and cycling distance of local facilities, with access to sustainable modes of travel. In addition, the building is already in use for residential purposes (albeit ancillary to Daffodil House), the extension to the front can be accommodated without it being to the detriment of the visual or residential amenity of the area and it will result in the creation of an additional dwelling which contributes towards housing land supply in North Lincolnshire.

Residential amenity

The plans show the existing plot will be subdivided and a new vehicular access and driveway created to serve the host dwelling to the north. The plans show there is sufficient space in which the new dwelling can exist alongside the host dwelling with space around both properties for private amenity space provision and off-street parking. In addition, a revised site layout plan has been received which shows the provision of a 2m high brick wall to be erected between the proposed and host dwelling. This will run for the full length of the proposed dwelling (on its northern side) and is considered sufficient to mitigate any potential loss of amenity to the proposed occupants through overlooking from upper floor bedroom windows towards private amenity space and ground-floor openings in the proposed dwelling. The level of private amenity space to serve the proposed and host dwelling is considered to be commensurate to the dwelling size and each dwelling will have a minimum of two off-street parking spaces, together with a turning area. The proposed dwelling is considered to be sited a sufficient distance away from the host property to the north to prevent any loss of residential amenity.

The concerns of the neighbour are noted; however, the proposed dwelling will be a distance of 8.3m from the northern wall of Ashtree Lodge to the south. This is considered a sufficient distance to mitigate any potential loss of amenity through loss of light or having an overbearing impact. Loss of view is not a material issue and will not be formally assessed in this case. It is noted a bedroom window is proposed in the southern-facing elevation of the proposed extension and no details of the boundary treatment along the southern boundary have been provided: to safeguard residential amenity and in the interests of clearly defining the boundary between respective residential plots, it is considered reasonable and necessary to recommend a condition requiring details of the boundary treatment to be submitted for future consideration. Finally, it is worth noting no upper floor habitable room windows are proposed to either the northern roof slope or southern-facing roof slopes. This prevents the overlooking of neighbouring dwellings and associated private amenity space.

Street scene

As noted above, the proposed dwelling (in its finished footprint) will be a significant distance away from the public highway to the east and the site is afforded sufficient existing screening in the form of a 2m high hedge along its boundary with the highway. This reduces views of the dwelling from the highway. Part of this hedge will be removed to facilitate the proposed vehicular access to the host property to the north (Daffodil Farmhouse) but will, in most part, be retained adjacent to the public highway. The extension to the front of the annexe will be constructed from materials to match its existing external appearance, thereby ensuring visual assimilation into the street scene. A feature window is proposed in the upper floor of the gable facing towards West End Road (in the extension). This is both functional and provides some visual interest. Each of the elevations will be broken up by either window or door openings, which helps to break up the massing of brickwork and

allows natural light. When viewed from the public highway the annexe will be viewed similar to the existing situation, albeit with the gable facing towards West End Road in closer proximity.

Other issues

The dwelling is within the Isle of Axholme Area of Special Historic Landscape Interest (as set out in policy LC14 of the NLLP). No objection has been received from the Historic Environment Record (HER) in respect of the potential impact of development upon the setting of the Historic Landscape in this regard. The HER has recommended a condition that householder permitted development rights are removed from the proposed property owing to the potential impact of additional built development to the rear of the subdivided plot and intrusion into the LC14 land. It is worth noting, however, that this is an existing garden serving the dwelling and therefore the existing householder permitted development rights could be exercised, which has the potential to result in built development in the rear garden of the dwelling. The subdivision of the land into two plots will not result in the intensification of domestic outbuildings being introduced into the rear part of the site. In addition, the proposal will not result in the gardens extending any further westwards into the LC14 land. On this basis, the imposition of a condition removing householder permitted development rights is not reasonable or necessary.

LLFA Drainage has considered the proposals and raised no objection on drainage or flood risk grounds. A condition is recommended requiring a scheme for the prevention of surface water run-off into the highway to be submitted for consideration. In terms of flood risk, that part of the site on which the outbuilding is located, and the area of its proposed extension, is within flood zone 1 in accordance with the North Lincolnshire Strategic Flood Risk Assessment (SFRA), therefore the change of use to a dwelling is considered to be acceptable in flood risk terms.

Highways have considered the proposals and raise no objection to the development on grounds of highway or pedestrian safety, and consider there to be sufficient visibility on West End Road to serve the new vehicular access. The application is therefore recommended for approval.

RECOMMENDATION Grant permission subject to the following conditions:

1.
The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.
The development hereby permitted shall be carried out in accordance with the following approved plans:

- 2021/069/04B
- 2021/065/05B
- 2021/069/06B
- 2021/069/01
- 2021/065/02

- 2021/065/03
- 21/69 Daffodil House.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No above-ground works shall take place until details of the positions, design, materials and type of boundary treatment to be built/planted along the southern boundary with Ashtree Lodge have been agreed in writing by the local planning authority. The agreed boundary treatment shall be built/planted before the dwelling is occupied, and once built/planted it shall be retained.

Reason

To provide an appropriate level of screening in accordance with policies H8 and DS1 of the North Lincolnshire Local Plan.

4.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken in accordance with details to be submitted to and approved in writing by the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

5.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that order with or without modification), nothing shall at any time be erected, retained, planted or allowed to grow over 1.05 metres in height above the level of the adjoining carriageway for a distance of 2 metres from the highway boundary across the site frontage.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

6.

The dwelling shall not be occupied until the vehicular access to it and the vehicle parking and turning space(s) serving it have been completed and, once provided, the vehicle parking and turning space(s) shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

7.

No above-ground works shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been approved in writing by the local planning authority. These facilities shall be

implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 159 to 169 of the National Planning Policy Framework.

8.

No above-ground works shall take place until details showing an effective method of preventing surface water run-off from the highway onto the developed site have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 159 to 169 of the National Planning Policy Framework.

Informative 1

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you **MUST** contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you **MUST** contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 2

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

Informative 3

Our records indicate that the proposed development site is bounded by, or has running through it, a watercourse (surface water pipe/culvert or ditch). Following inspection, the watercourse may need to be cleared, replaced, protected or diverted by the landowner at their expense in accordance with their riparian responsibilities. An easement adjacent to the watercourse may need to be provided for future maintenance. Any other drainage feature found during excavations must be immediately reported to the LLFA Drainage Team via email to llfadrainageteam@northlincs.gov.uk prior to any further construction works being carried out. Please refer to North Lincolnshire Council's 'Guide to Watercourses and Riparian Ownership' detailing riparian rights and responsibilities. Compliance with this

guidance is to ensure the free flow of surface water is maintained throughout the development.

Informative 4

Our records indicate that the proposed development site is bounded by an ordinary/riparian watercourse/highway drain along the boundary. The proposals show a new access to be provided over and/or connection into the watercourse. This must be consented by North Lincolnshire Council's LLFA Drainage Team, in their capacity as Lead Local Flood Authority, and/or the local Internal Drainage Board through an Ordinary Watercourse Consent and appropriate discharge rates must be agreed. Please contact the LLFA Drainage team via email to llfladrainageteam@northlincs.gov.uk for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.



LC14 Isle of Axholme Area of Special Historic Landscape Interest

**North
Lincolnshire
Council**

PA/2021/1870

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PA/2021/1870 Proposed layout (not to scale)

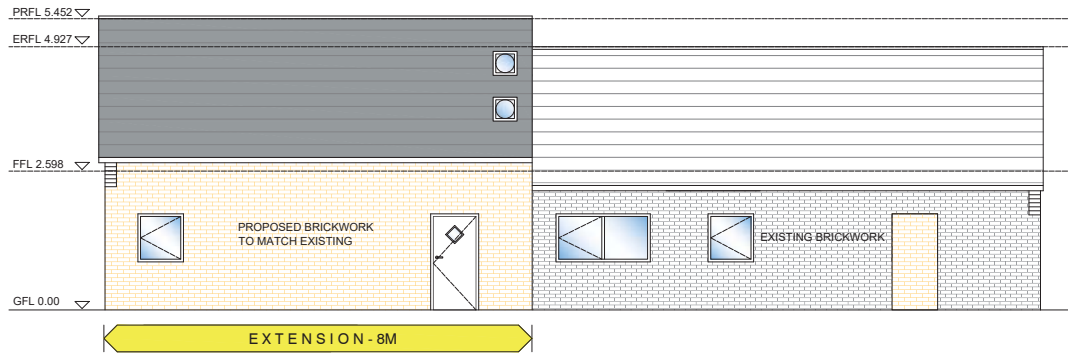


Notes		Project Client		Scale		Date	
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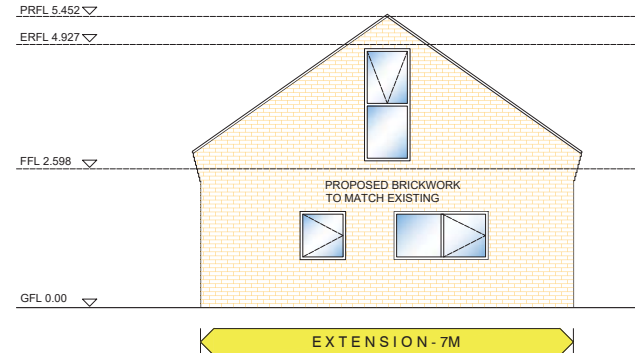
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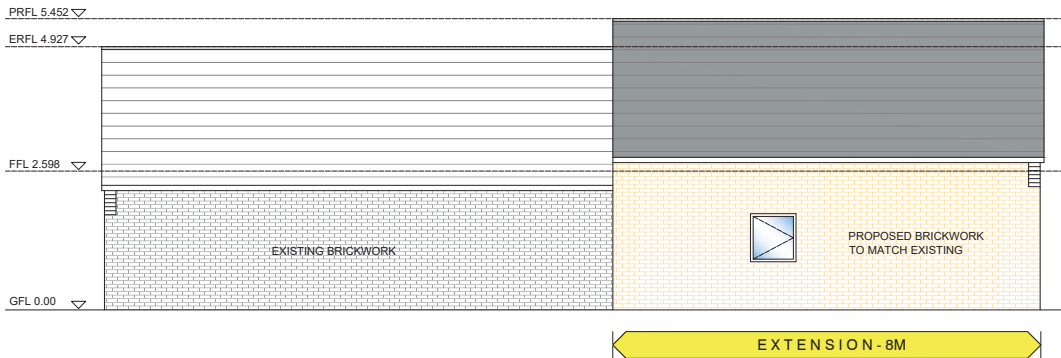
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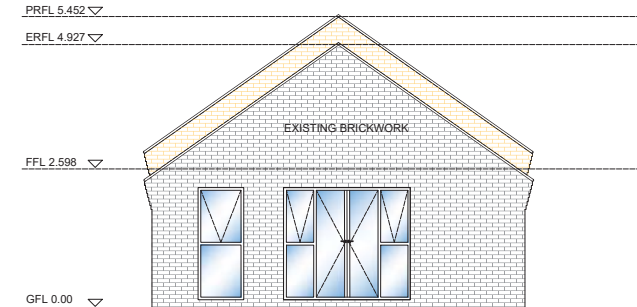
Proposed North Elevation - 1:50



Proposed East Elevation - 1:50



Proposed South Elevation - 1:50



Proposed West Elevation - 1:50

Ref	Date	Revision	Initial
B	26/04/22	Revised generally to suit planners comments	PA
A	14/10/21	Revised generally to suit client comments	PA

Project / Client:	DAFFODIL HOUSE, WEST END ROAD, EPWORTH, DN9 1LA FOR SALLY ANNE MOXON
Drawing Title:	PROPOSED ELEVATIONS

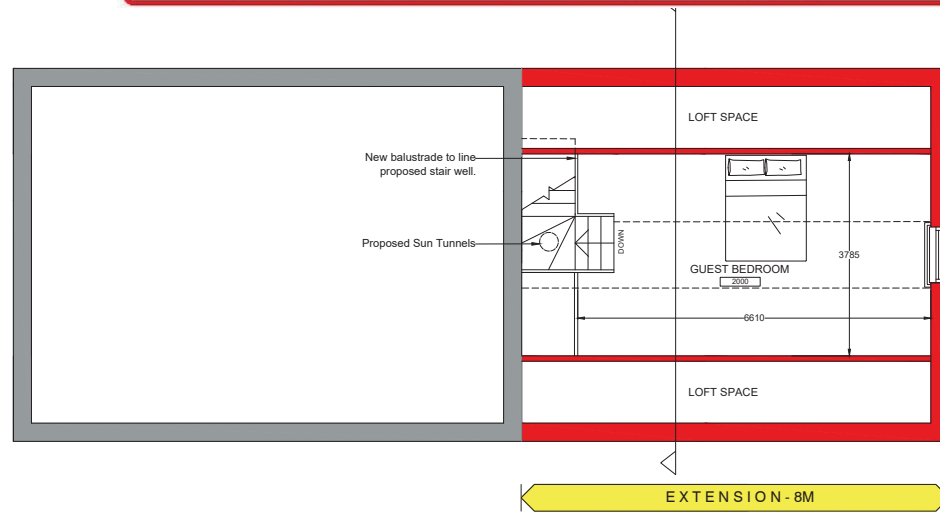


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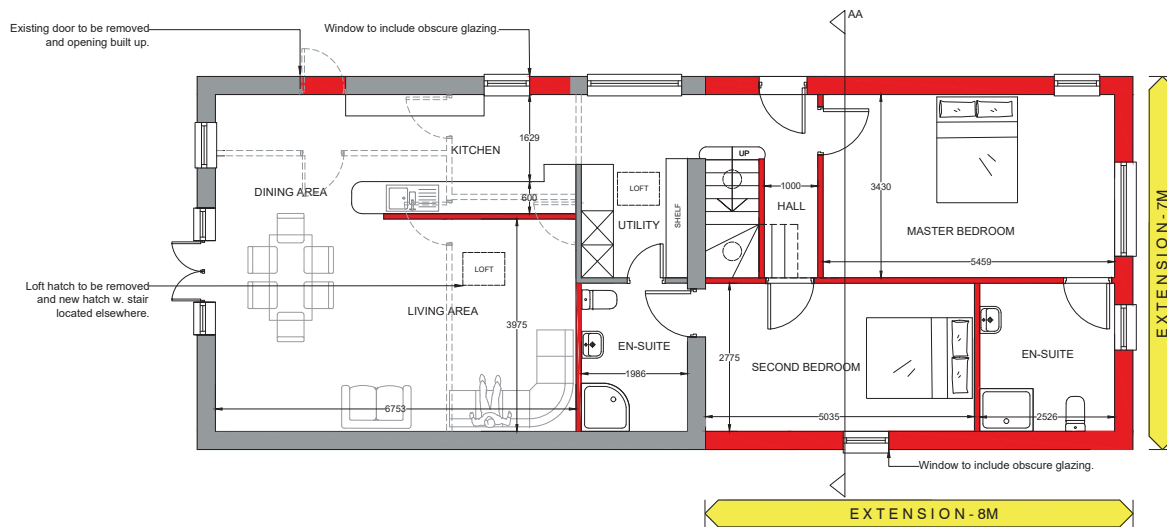
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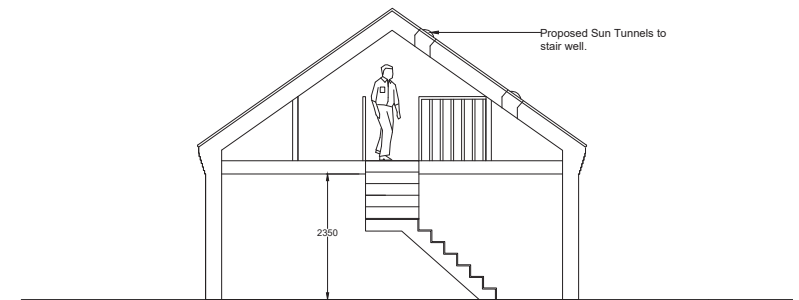
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Scheme First Floor Plan - 1:50



Scheme Ground Floor Plan - 1:50



Schematic Section AA- 1:50

Notes:

Ref	Date	Revision
B	26/04/22	Revised to suit Planners comments.
A	14/10/21	Revised generally to suit client comments.

Project / Client:	DAFFODIL HOUSE, WEST END ROAD, EPWORTH FOR SALLY ANNE MOXON
Project / Client:	PA
Drawing Title:	PROPOSED FLOOR PLANS



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