

APPLICATION NO	PA/2021/2169
APPLICANT	Mr & Mrs Antony Edmondson-Bennett
DEVELOPMENT	Listed building consent to erect a lodge and wall, create a pond and swimming pool within the grounds and refurbish an existing tennis court including lighting and a storage shelter
LOCATION	Fox Farm, Cadney Road, Howsham, LN7 6LA
PARISH	Cadney
WARD	Ridge
CASE OFFICER	Mark Niland
SUMMARY RECOMMENDATION	Grant consent subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Cadney cum Howsham Parish Council

POLICIES

National Planning Policy Framework:

Paragraph 47 – Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Decisions on applications should be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing

North Lincolnshire Local Plan: HE5

North Lincolnshire Core Strategy: CS6

Historic Environment Record: No further recommendations.

Conservation: No objection subject to a design change and conditions.

PARISH COUNCIL

Objects to the pond due to its size and potential flooding concerns. They state that parishioners and the parish council have repeatedly reported the drains and issues of drainage to NLC on Cadney Road and are worried about the extra pressure the pond and development will put on this area.

As there are two other ponds in the near vicinity, they feel there should be a full environmental survey to consider the impact and a covenant should be attached stating that it is for domestic use only.

They note the application states there are “no trees and hedges on the land adjacent to the development that would have an impact on it”, the reason being that they have already been removed by the applicant.

Concerns are raised regarding the floodlights on the tennis court being close to the road, creating a hazard, impact on neighbouring houses and the environmental impact due to light pollution.

Complaints have been received from parishioners regarding light pollution since the menage was installed at Chestnut View.

The parish council requests a restriction on usage of the lighting during certain hours.

Based on the information given, the parish council was unable to ascertain where the new wall is to be erected, but would like to point out that the front wall between the road and tennis court has been raised to approximately twice the original height. They cannot see reference to this on any of the retrospective planning applications.

PUBLICITY

Advertised by site and press notice. A number of objections have been received, which can be summarised as follows:

- flooding and drainage
- highway safety impacts
- light pollution
- noise impacts
- residential amenity impacts
- impact upon the open countryside
- general character and landscape
- ecology/biodiversity.

ASSESSMENT

Planning history

7/1983/0062: Planning permission to erect an extension to form a farm office and games room – approved 24/03/1983

7/1988/0736: Planning permission to construct a conservatory – approved 04/01/1989

PA/2018/2086: Planning permission to erect an extension and alterations to previously approved plans – approved 21/12/2018

PA/2017/332: Planning permission to convert barns into two dwellings – approved 02/05/2017

PA/2021/1735: Planning permission to convert outbuilding to annexe with extension – approved 26/01/2021.

Site constraints

- Grade II listed building
- Open countryside (HELA DPD 2016)

Site characteristics

The dwelling fronts Cadney Road and is a grade II listed property. It has numerous associated outbuildings and an area of paddock land to the northwest. The dwelling and wider land is outside the defined settlement limits for Howsham. The property is served by a central access with a secondary access to the east serving the rear, and an additional access to the east which was approved in connection with the annexe under PA/2021/1735.

Proposal

Listed building consent is sought to erect a new Scandinavian-style lodge and wall between the tennis court and driveway with entrance gates, create a pond and external swimming pool within the grounds, and refurbish an existing tennis court, including lighting and a storage shelter. Permission to retain the children's play equipment on site is sought under a separate pending application.

The following considerations are relevant to this proposal:

- **impact upon the historic environment.**

Impact upon the historic environment

Policy HE5 is concerned with development affecting listed buildings and is relevant given the grade II status of Fox Farm. It states:

'The council will seek to secure the preservation, restoration and continued use of buildings of special architectural or historic interest. When applications for planning permission relating to a listed building or listed building consent are being assessed, the primary consideration will be the need to preserve or enhance the fabric and character of the building. Permission or consent will not be granted unless it has been demonstrated that the proposed works would secure this objective. The council will encourage the retention and restoration of the historic setting of listed buildings. Proposals which damage the setting of a listed building will be resisted. Whenever appropriate, proposals which would entail the loss of historic fabric from a listed building will be conditional upon a programme of recording being agreed and implemented.'

Policy CS6 of the Core Strategy is concerned with development affecting the historic environment. It seeks to protect and enhance the districts designated and undesignated assets.

Paragraph 199 of the NPPF states, '...When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight

should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.'

Paragraph 200 states, '...Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- (c) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
- (d) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

Paragraph 202 states, '...Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'

The conservation officer has been consulted and has stated:

'There is no objection to the planning and listed building consent subject to the number of lights on the driveway reduced and appropriate conditions regarding staining the play equipment, painting the tennis court Wimbledon Green, details [for] surfacing of the driveway, details provided of the surface material surrounding the pool and associated landscaping, details of the bricks for the supporting piers for the wall adjacent to the driveway are submitted for consideration. It should also be conditioned that the wall between the tennis court and driveway is rebuilt using the existing bricks and a lime mortar.'

Subject to the imposition of such conditions, the proposal is in accordance with planning policies HE2 of the local plan and CS6 of the Core Strategy, as well as the aforementioned paragraphs of the National Planning Policy Framework.

Conclusion

The proposal represents a sustainable form of development that would minimise the harm upon the listed building.

RECOMMENDATION Grant consent subject to the following conditions:

1.

The works must be begun before the expiration of three years from the date of this consent.

Reason

To comply with Section 18(1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location and Block Plan 001 Rev B
Plans and Details as Proposed 003 Rev B

Plans and Details as Proposed 004 Rev B.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

Before its first use the tennis court hereby permitted shall be painted 'Wimbledon Green', which shall be retained thereafter.

Reason

To protect the historic environment and to accord with policy HE5 of the North Lincolnshire Local Plan.

4.

Prior to the first use of the driveway, details of the bricks used for the supporting piers for the wall adjacent to the driveway shall be submitted to and agreed in writing with the local planning authority. They shall be retained thereafter.

Reason

To protect the historic environment and to accord with policy HE5 of the North Lincolnshire Local Plan.

5.

Prior to the development on the pool house, details of all external materials shall be submitted to and agreed in writing with the local planning authority and shall be retained thereafter.

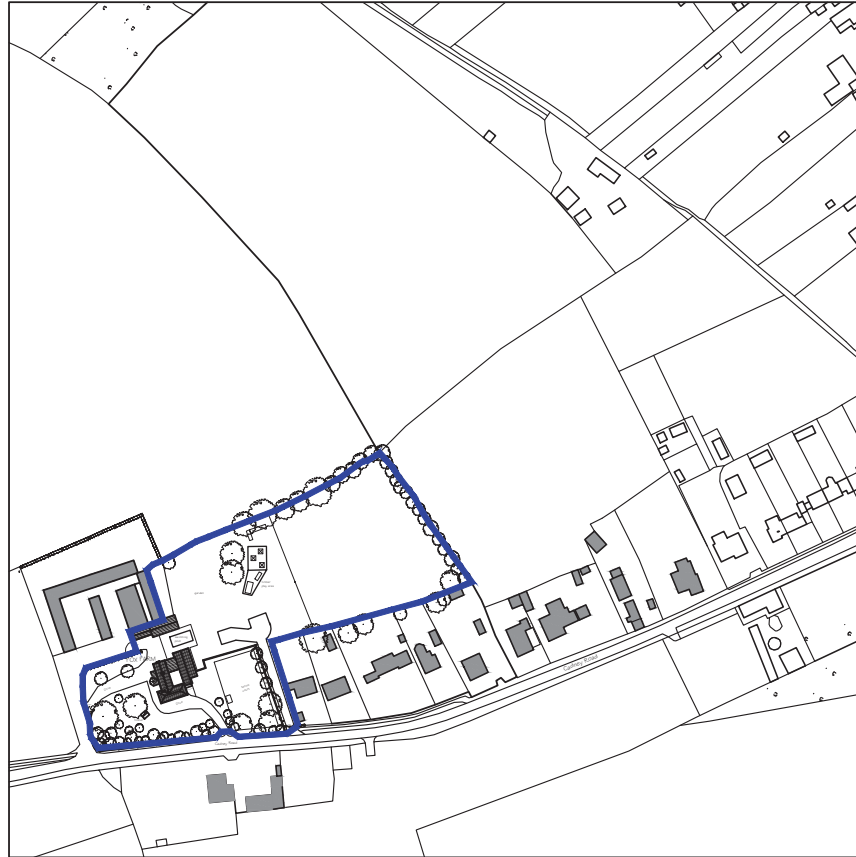
Reason

In the interest of the historic environment and to accord with policy HE5 of the North Lincolnshire Local Plan.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

PA/2021/2169 Proposed layout (not to scale)




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Site Location Plan

0 20m 40m 60m



1:2500

 Land under client ownership




Block Plan

0 5 10m 20m 50m



1:1000

 Land under client ownership currently classified as pastoral use of land

 Change of Use from Pastoral Land to House Curtilage

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Ordnance Survey 0100031673

DATE	NOTES	BY	REV
12/11/21	Issued for planning	SG	A
21/04/22	Issued for planning	SG	B



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PROJECT TITLE Proposed Works within Listed House Grounds		CLIENT Mr & Mrs Edmondson-Bennett Fox Farm, Cadney Road, Howsham, LN7 6LA		
DRAWING STAGE Planning	SCALE VARIES @ A1	CHK SG	DRAWN BY SG	
SHEET TITLE Site Location and Block Plan	PROJECT NUMBER LN7-2683	STAGE PLN	REV B	SHT 001

PA/2021/2169 Proposed plans and details 1 of 2 (not to scale)



Site Plan as Proposed



Photo of current play area



Photo of current play area.



Photo of current play area in the process of being dark oak stained



Photo of current play area in the process of being dark oak stained

③ PLAY AREA



Photo of existing area of proposed swimming pool



Photo of existing area of proposed swimming pool



Photo of existing area of proposed swimming pool

The swimming pool will be landscaped around and a sympathetic floor finish installed. To soften and help conceal the pool aesthetically pleasing we will make landscaping around the formal gardens will be planted in traditional old English heritage style with manicured hedgerows and rose gardens etc

⑤ SWIMMING POOL (10 metres x 5 metres)



Photo of existing timber to be dark stained - dark oak stain



Photo of existing timber to be dark stained - dark oak stain

⑧ TIMBER SHELTER

DATE	NOTES	BY	REV
12/11/21	Issued for planning	SG	A
12/11/21	Issued for planning	SG	A



PROJECT TITLE Proposed Works within Listed House Grounds		CLIENT Mr & Mrs Edmondson-Bennett Fox Farm, Cadney Road, Wewichan, LN7 6LA	
DRAWING STAGE Planning		SCALE 1:500 @ A1	CHEG SG
SHEET TITLE Plans and Details as Proposed (sheet 1 of 2)		PROJECT NUMBER LN7-2808	STAGE PLN
		REV B	DRAWN BY SG
		SHT B	003

PA/2021/2169 Proposed plans and details 2 of 2 (not to scale)

④ TENNIS COURT



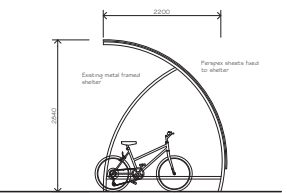
Photo of current tennis court Photo of current tennis court



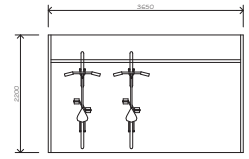
Photo of current tennis court Photo of current tennis court



Photo of existing cycle shelter to be refurbished



Section of Refurbished Shelter As Proposed



Plan of Refurbished Shelter As Proposed

Existing tennis court to be repainted to be Wimbledon green. New lines added to suit several different sporting courts / pitches. Existing fencing to be retained. Cycle shelter to be installed to be used for cycles and childrens play items. Flood lighting to be installed at boundary side of tennis court to allow all season usage.

⑥ WALL RE-BUILT



Photo of salvaged bricks from collapsed wall cleaned and ready to be used to rebuild the wall.

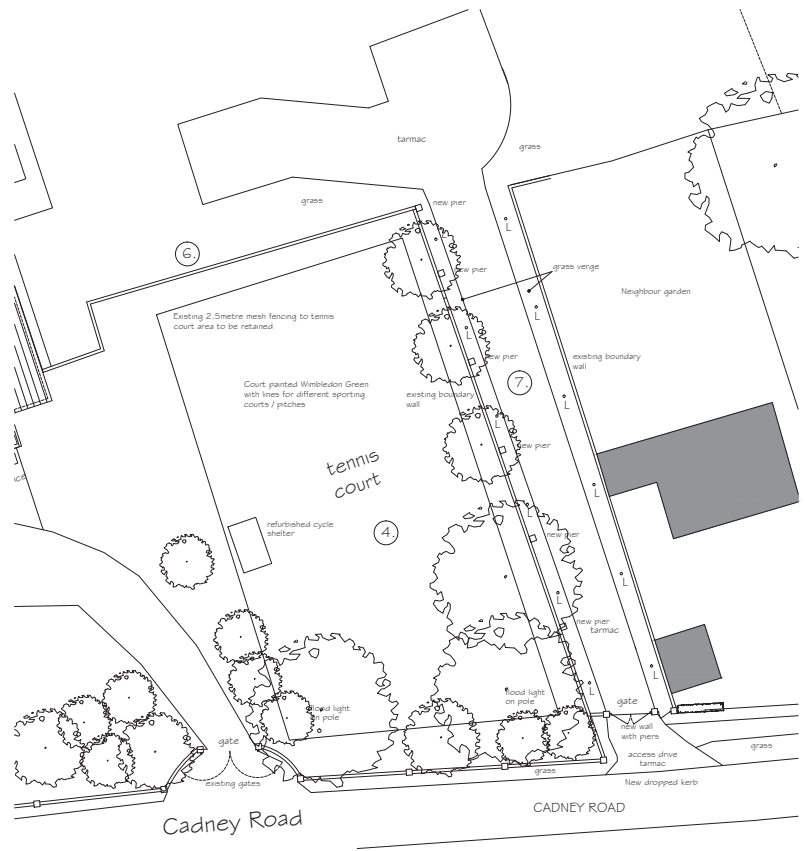


Photo of current wall prior to re-building of collapsed area

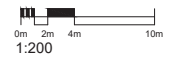


Photo of current wall prior to re-building of collapsed area

Existing wall to be demolished where it is failing / collapsing. All bricks are to be retained / salvaged by cleaning and all mortar removed. Wall to be rebuilt using these bricks.



Site Plan as Proposed



⑦ NEW DRIVE



Photo of current gate to be matched

New entrance / access drive to be created by installing a new boundary wall with gate. All to match the existing. New brick piers to be installed to support the existing collapsing / leaning wall. Drive the tarmac, verge to be grassed and new external lighting to be installed to match the existing Victorian style lamps



Photo of current drive



Photo of current drive and gate



Photo of current drive / wall



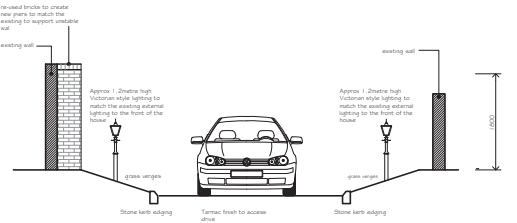
Photo of current gate



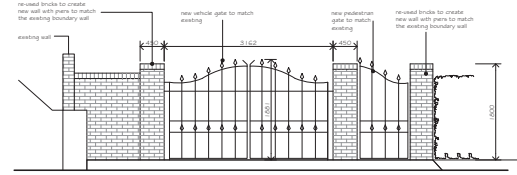
Photo of existing external lighting to be matched



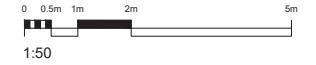
Photo of current drive



New Drive As Proposed



Entrance Gate/Wall As Proposed



1:50



PROJECT TITLE Proposed Works within Listed House Grounds	CLIENT Mr & Mrs Edmondson-Bennett Fox Farm, Cadney Road, Hoxochan, LN7 6LA
DRAWING STAGE Design	SCALE 1:500 @ A1
SHEET TITLE Plans and Details as Proposed (sheet 2 of 2)	PROJECT NUMBER LN7-2808
	DATE CWE
	REV SG
	STAGE PLN
	REV B
	SHT 004
	DRAWN BY SG

DATE	NOTES	BY	REV
21/11/21	Issued for planning	SG	A
01/12/21	Issued for planning	SG	A