

APPLICATION NO	PA/2022/271
APPLICANT	Mr Christopher Ingham
DEVELOPMENT	Planning permission for a minor material amendment to PA/2020/443 to retain external staircase
LOCATION	Rosabelle Manor, Derrythorpe Road, Beltoft, DN9 1NB
PARISH	Belton
WARD	Axholme Central
CASE OFFICER	Mark Niland
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Belton Parish Council

POLICIES

National Planning Policy Framework:

Paragraph 130 – Planning policies and decisions should ensure that developments:

- (a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- (b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- (c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- (d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- (e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- (f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

North Lincolnshire Local Plan: DS1, LC14

North Lincolnshire Core Strategy: CS5

CONSULTATIONS

Historic Environment Record: No objections.

PARISH COUNCIL

Objects to the minor material amendment, but no reasons given.

PUBLICITY

Advertised by site notice. A letter of objection has been received from a neighbour concerned about overlooking.

ASSESSMENT

Planning history

PA/2020/443: Planning permission to erect a dwelling and garage, including associated works – approved.

Site characteristics

This proposal relates to an infill plot on which permission was granted to erect a dwelling under PA/2020/443. The large detached dwelling, with front and rear curtilage, has since been built, however it has an external stair case that was not approved as part of the original planning permission above. This application is seeking to amend this planning permission to include the external stair case.

Proposal

Permission is sought to retain an external staircase to the rear of the property that serves the upper floor rooms above the garage. This will function as the only access to this room area of the property and without it there would be no possible access to the large room space above the garage.

Enforcement action has been undertaken in relation to the unauthorised development requiring an application for an amendment to the approved application.

The main issues to consider are:

- **impact upon amenity**
- **impact upon character.**

Amenity

Policy DS1 of the local plan is, in part, concerned with the protection of amenity. It states that new development should not overbear, overshadow or overlook neighbouring properties to an unacceptable level.

The staircase has a platform at the top and whilst not an ideal place to spend time perusing the neighbour's rear amenity, it does offer that opportunity. A condition requiring screening to diminish this opportunity is therefore considered necessary. Given this is a retrospective

application brought about by enforcement action a time limit of three months will be allowed to erect the screen.

On this basis it is considered that the proposal would align with policy DS1 of the North Lincolnshire Local Plan.

Character

The site lies within the Area of Special Historic Landscape Interest (ASHLI) of the Isle of Axholme. This area is locally designated for its unique historic landscape retaining the pattern of ancient open strip fields and enclosed fields surrounding the villages on the Isle. This historic landscape is considered to be of national importance and local plan policy LC14 applies which states:

‘The Isle of Axholme is designated as an area of Special Historic Landscape Interest. Within this area, development will not be permitted which would destroy, damage, or adversely affect the character, appearance or setting of the historic landscape, or any of its features.’

Policy CS5 of the Core Strategy, which is concerned with raising design standards, is also considered relevant. The staircase is considered to carry a localised impact and not have a wider effect upon the ASHLI. This is confirmed by the HER department having no objections. In design terms the staircase does not make a material difference to the aesthetic of the dwelling and is considered acceptable.

Conclusion

The proposal requires some mitigation to prevent unacceptable overlooking: with a screen in place this staircase would be acceptable. There are no issues in relation to design.

RECOMMENDATION Grant permission subject to the following conditions:

1.

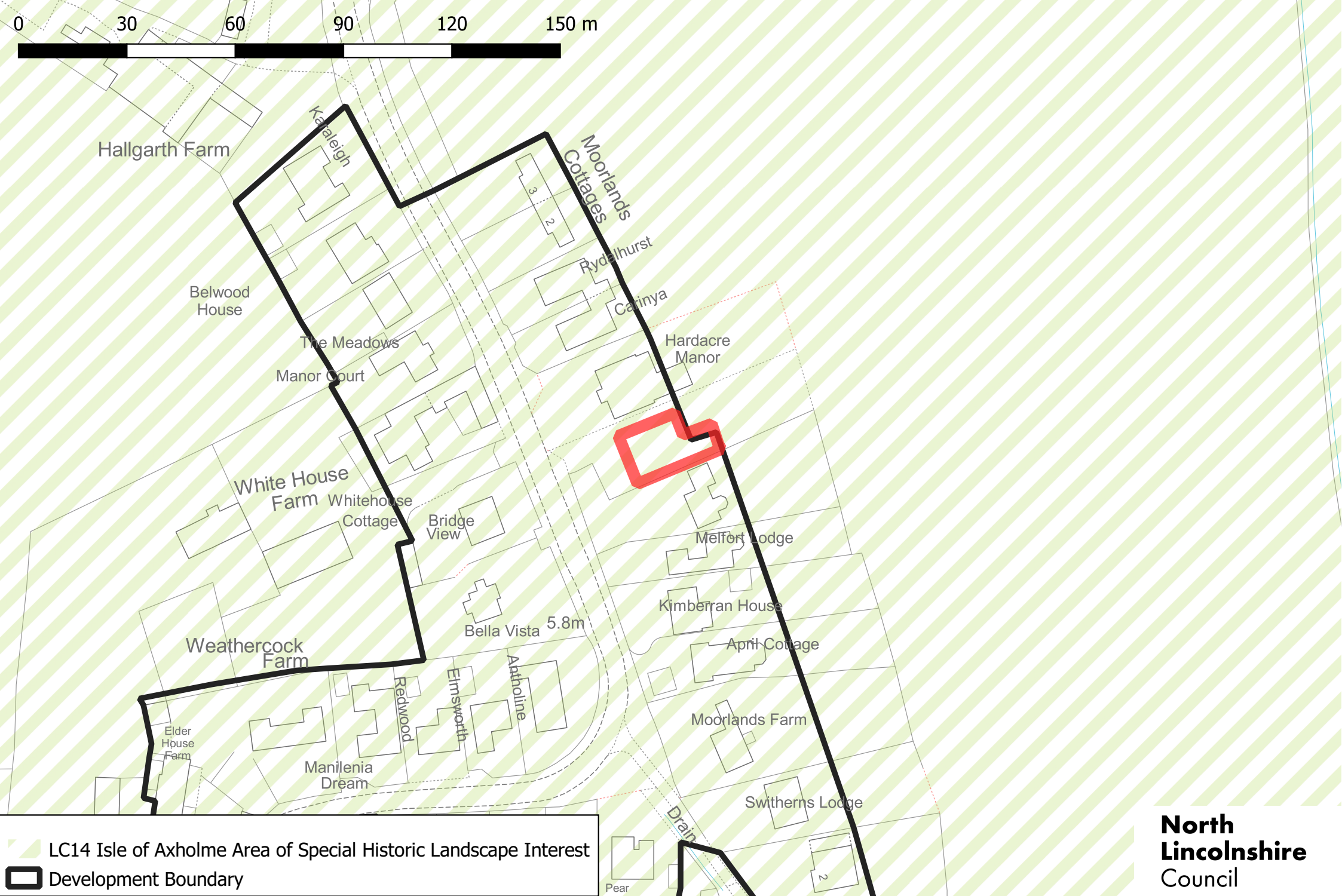
Within three months of the date of this permission, details shall be submitted to and agreed in writing by the local planning authority of how the staircase will be screened to protect neighbouring amenity. Within six months of details being agreed, the screen shall be erected and thereafter retained.


Reason


In the interest of amenity and to accord with policy DS1 of the North Lincolnshire Local Plan.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



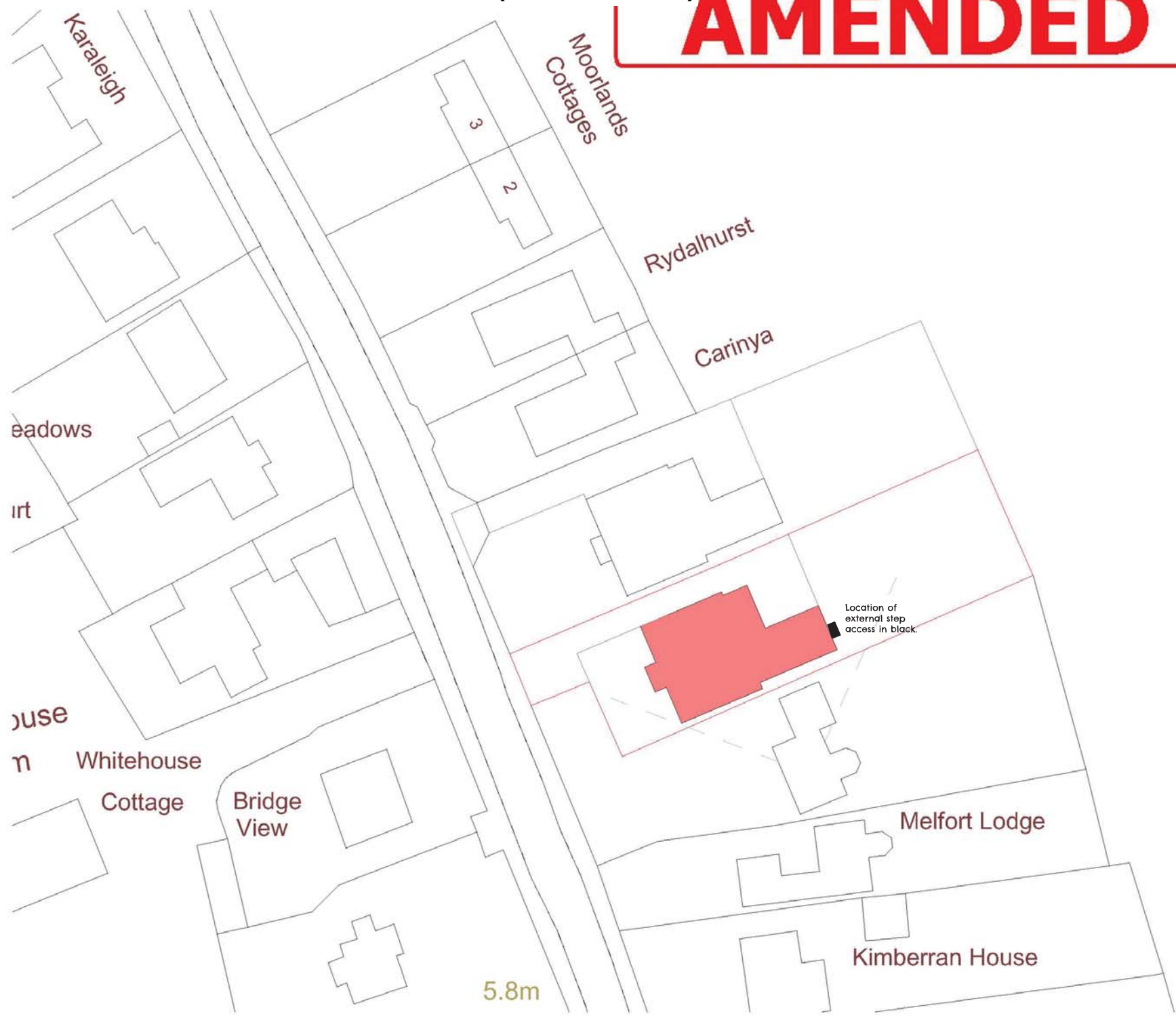
 LC14 Isle of Axholme Area of Special Historic Landscape Interest

 Development Boundary

**North
Lincolnshire
Council**

PA/2022/271

AMENDED



NOTES

DRAWING PURPOSE
 Drawings are design intent only, prepared for the purposes of obtaining Town & Country Planning Permission and Building Regulation Plan Check Approval only as appointed by the client. Any work carried out before these approvals have been granted will be strictly at the clients own risk.

Contractor to check and clarify all levels, dimensions, electrical and drainage specification / construction prior to any works on site and bring to the clients attention any variations or deviations for written confirmation before being carried out on site.

All materials shall be fixed, applied or mixed in accordance with all of the manufacturers instructions, recommendations & specifications. All materials shall be fit for the purposes that they are to be used for.

QUANTITIES / COSTING
 The contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the Local Authorities / Building Control, whether or not indicated on the drawing or in the specification.

BOUNDARIES / PARTY WALL ACT
 The client is responsible for providing the architect with correct site boundary/ ownership definitions, any covenants or easements relating to the site. The Architect will assume site boundaries as clearly defined, unless otherwise informed by client.

Any building works within 6m of a neighbouring home's foundations may require you to notify the owner of that property of your intentions at least one month before you start work. Work to an existing party wall requires you to give at least two months notice of your intentions. If consent to carry out work cannot be reached procedures dealing with an dispute should be followed (the party wall act 1996). Explanatory booklets can be obtained free of charge on the Government website.

LEGISLATION / OTHER CONSULTANTS
 Unless stated otherwise, the designs shown are subject to detailed site survey, investigations, and legal definition, the CDM Regulations, and the comments and / or approval of the various relevant Local Authority Officers, Statutory Undertakers, Fire Officers, Engineers and the like. They are copyright, project specific and confidential and no part is to be used or copied in any way without the express prior consent of the architect. This drawing includes information provided by independent surveyors and / or consultants, to whom all queries shall be made.

Contractor shall discharge any conditions detailed in the approved planning decision notice, ensuring pre-commencement conditions are discharged and approval received in writing from the council before any works start on site.

DO NOT SCALE - USE FIGURED DIMENSIONS ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE DRAWING PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE CHECKED ON SITE. IF IN DOUBT ASK.

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status: PLANNING		
client: [REDACTED]		
project: PLOT 2, LAND AT MOORLANDS FARM, BELTON ROAD, BELTOFT		
title: PROPOSED SITE PLAN		
scale: 1:500 @ A3	date: MARCH 2020	
project no.: 200310	number: 02	rev: B







