

APPLICATION NO	PA/2022/579
APPLICANT	Mr James Sargent
DEVELOPMENT	Planning permission to erect a two-bay oak-framed double garage with adjoining storage buildings
LOCATION	Nebraska Farm, Ings Road, Kirton in Lindsey, DN21 4BX
PARISH	Kirton in Lindsey
WARD	Ridge
CASE OFFICER	Emmanuel Hiamey
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Kirton in Lindsey Town Council

POLICIES

National Planning Policy Framework:

Section 12: Achieving well-designed places

North Lincolnshire Local Plan:

DS1: General Requirements

DS5: Residential Extensions

T2: Access to Development

T19: Car Parking Provision and Standards

RD2: Development in the Open Countryside

RD10: Replacement, Alteration and Extensions to Dwellings in the Open Countryside

North Lincolnshire Core Strategy:

Policy CS1: Spatial Strategy for North Lincolnshire

Policy CS2: Delivering more Sustainable Development

Policy CS3: Development Limits

Policy CS5: Delivering Quality Design in North Lincolnshire

Policy CS19: Flood Risk

Supplementary guidance

SPG1: Design Guidance for House Extensions

CONSULTATIONS

Highways: No comments or objections.

LLFA Drainage: No objections or comments.

TOWN COUNCIL

Objects. The town council is mindful that this area of the town is agricultural/rural and there is concern about the over-development of land with agricultural/rural designation due to the continued expansion of buildings. The town council is also mindful of drainage concerns in this, and the wider area of the town and would ask that all matters relating to impact on drainage are taken into full consideration.

PUBLICITY

Advertised by site notice – no comments received.

ASSESSMENT

Constraints

SFRA Flood Zone 1

Outside development boundary

Planning history

PA/2002/1739: Planning permission to extend a general-purpose agricultural building, use tool store as a rest room/WC, including installation of a septic tank and erect two general-purpose agricultural buildings – approved 02/01/2003

PA/2012/0965: Planning permission for change of use of an agricultural building to a dependent relative annexe with ground floor extension – refused 19/10/2012

PA/2012/1278: Planning permission to change the use of an agricultural building to a dependant relative annexe with ground floor extension (resubmission of PA/2012/0965) – approved 18/12/2012

PA/2001/1510: Application for determination of the requirement for prior approval for the erection of an agricultural barn – approved 03/01/2002

PA/2004/1938: Planning permission to erect an agricultural dwelling – approved 25/02/2005.

Site and proposal

Planning permission is sought to erect a two-bay oak-framed double garage with adjoining storage buildings at Nebraska Farm, Ings Road, Kirton in Lindsey. Nebraska Farm is a

large farm situated near Bridge Farm. It comprises a large field, several ponds, general-purpose agricultural buildings and a farmhouse, and is outside the development boundary of Kirton in Lindsey. The garage and storage buildings would be located between the driveway to the site and outbuildings on the farm, alongside Ings Road.

The proposals would measure approximately 66m² and would be single-storey. The finish for the walls would be timber feather-edged board and the roof covering would be a pantile.

The main issues to consider in the determination of this application are:

- **the principle of the development;**
- **whether the siting, layout and design are appropriate;**
- **whether the double garage with adjoining storage buildings would impact the character of the farm; and**
- **whether the garage would harm the amenities of neighbouring properties.**

Principle of development

Policy RD2 of the North Lincolnshire Local Plan requires development in the open countryside to be strictly controlled. It goes on to state that planning permission will only be granted for certain types of development if:

- (a) the open countryside is the only appropriate location and development cannot reasonably be accommodated within defined development boundaries;
- (b) the proposed development accords with the specific requirements set out in the relevant policies of this chapter and elsewhere in this local plan;
- (c) the development would not be detrimental to the character or appearance of the open countryside or a nearby settlement in terms of siting, scale, massing, design and use of materials; and
- (d) the development would not be detrimental to the residential amenity or highway safety; and
- (e) account is taken of whether the site is capable of being served by public transport; and
- (f) the development is sited to make the best use of existing and new landscaping.

Policy DS5 of the local plan is concerned with residential extensions and states that planning applications for residential extensions and the erection of garages, outbuildings, walls and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, loss of privacy or overbearing impact on adjacent dwellings. Proposals should also be sympathetic in design, scale and materials to the existing dwelling and its neighbours.

Having reviewed the above policies, this development would be consistent with policy DS5 because the double garage with adjoining storage buildings is considered ancillary to the enjoyment of the farmhouse. Furthermore, this policy supports the erection of garages and

outbuildings providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, loss of privacy or overbearing impact to adjacent dwellings and the proposal is sympathetic in design, scale and materials to the existing dwelling and its neighbours.

Regarding policy RD2, having considered the criteria set out, it is judged that the policy supports the erection of garages and outbuildings in the open countryside if it is the only appropriate location and the development cannot reasonably be accommodated within defined development boundaries.

It is worth noting that the double garage with adjoining storage buildings would serve as an ancillary building. It would not constitute a new dwelling. It will be within a reasonable distance from the farmhouse, and it will use the existing access and provide parking facilities for the farmhouse. These elements are appropriate to the location and the development cannot reasonably be accommodated elsewhere within the defined development boundary.

The principle of the erection of this double garage with adjoining storage buildings to serve the farmhouse is acceptable subject to compliance with other relevant policies of the North Lincolnshire Local Plan and Core Strategy.

Layout, siting and design

Policy DS1 (General Requirements) requires a high standard of design in all developments in both built-up areas and the countryside and proposals for poorly designed development will be refused. Policy CS5 (Delivering Quality Design in North Lincolnshire) supports developments that are well designed and appropriate for their context.

As indicated earlier, the site is outside the development boundary of Kirton in Lindsey, in the open countryside. The proposed double garage with adjoining storage buildings would be located alongside Ings Road, between the driveway to the site and outbuildings on the farm and would be sufficiently screened from the road.

The overall scale of the proposed double garage with adjoining storage buildings would be approximately 66m² and would be single-storey (relatively large compared to the buildings on the farm).

The position and scale of the proposed double garage with adjoining storage buildings, alongside Ings Road, between the driveway and the outbuilding on the farm, does not raise any significant planning issue. While there is no direct physical attachment of the double garage and storage buildings to the farmhouse, it would be attached to an existing outbuilding and therefore would not dominate the farm or surrounding area.

Regarding design and appearance, the proposed double garage with adjoining storage buildings would have a timber finish open-fronted (bay) and the finish for the wall would be timber feather-edged board; the roof covering would be a pantile. It is judged appropriate to the site and would fit in well with the countryside.

Overall, the siting, scale and appearance of the double garage and storage outbuildings would be acceptable and would fit in well with the character of the farm and surrounding area.

Impact on adjacent properties

There are no properties close to the outbuilding and therefore no overbearing or overshadowing impact, or loss of privacy.

Highway matters

Policies T2 and T19 require all development to be served by satisfactory access and parking provision. Highways have no objections to the application and therefore it is judged that the proposal meets the terms of these policies.

Drainage

The application site is within SFRA Flood Zone 1. The LLFA Drainage Team has no objections or comments to the proposed development. Accordingly, it is judged that the site would not raise any issues of flooding.

Town council comments

Kirton in Lindsey Town Council object to this application. As the site is agricultural/rural there is concern about its over-development and continued expansion of buildings into the agricultural or rural designation.

They are also concerned about drainage in this and the wider area of the town and would ask that all matters relating to impact on drainage are taken into full consideration.

In response to the town council's concerns, the principle of the development in the rural area has been established previously in this report. Furthermore, the LLFA Drainage Team have considered the drainage impact of the development and have not raised any concerns over drainage.

On the matter of over-development of the site, it is considered that there is sufficient land on the farm and the development does not raise any such issues.

Conclusion

In conclusion, the principle of the erection of a two-bay oak-framed double garage with adjoining storage buildings for use as an ancillary building for the enjoyment of Nebraska Farm is acceptable. The siting, layout and scale of the proposals are acceptable and unlikely to impact negatively on the character of the farm or the surrounding area, and would not give rise to visually harmful impacts. There are no properties close to the site and as the proposals would not form living accommodation, they do not raise any amenity issues. The proposals therefore comply with the relevant policies of the North Lincolnshire Local Plan and Core Strategy and are recommended for approval.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

Dwg. No. PA/2022/579/01

Dwg. No. PA/2022/579/02

Dwg. No. PA/2022/579/03

Dwg. No. PA/2022/579/04

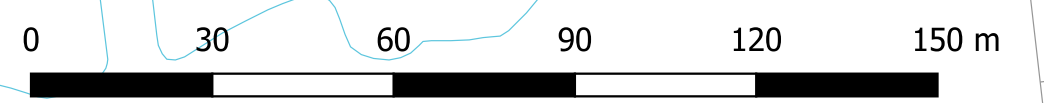
Dwg. No. PA/2022/579/05.

Reason

For the avoidance of doubt and in the interests of proper planning.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



**North
Lincolnshire
Council**

PA/2022/579 Proposed siting (not to scale)

09/02/2020 21:31

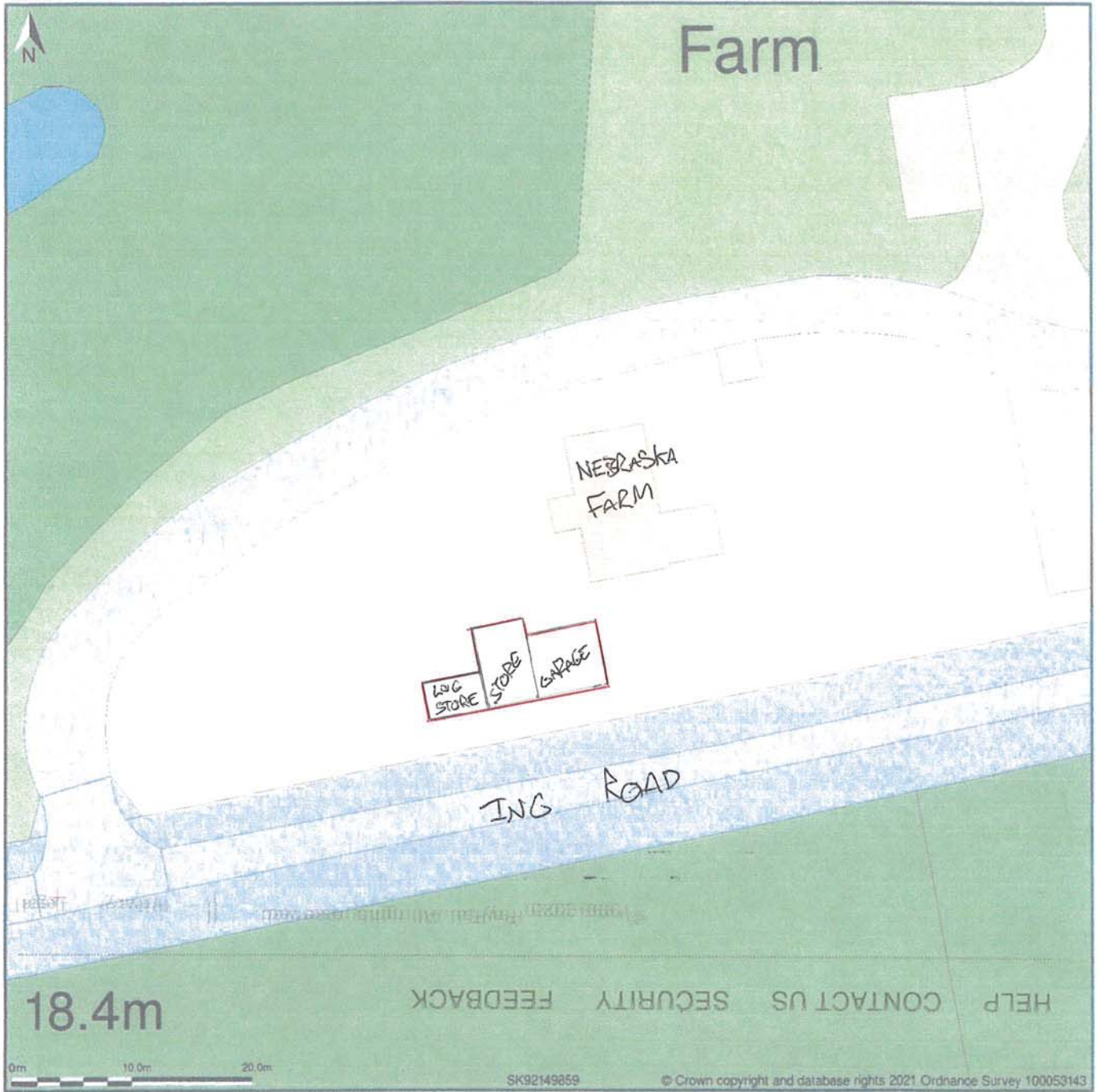


PLAN (2)



— SITE LOCATION

Nebraska Farm, Ings Road, Kirton In Lindsey, North Lincolnshire, DN21 4BX



Block Plan shows area bounded by: 492101.37, 398549.53 492191.37, 398639.53 (at a scale of 1:500). OSGridRef: SK92149859. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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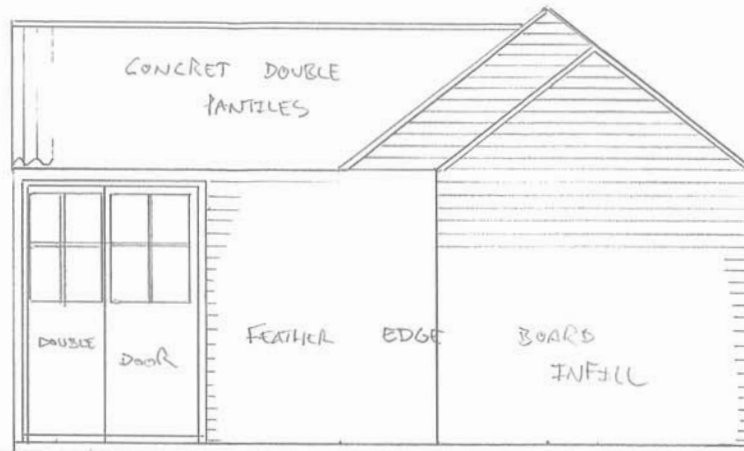
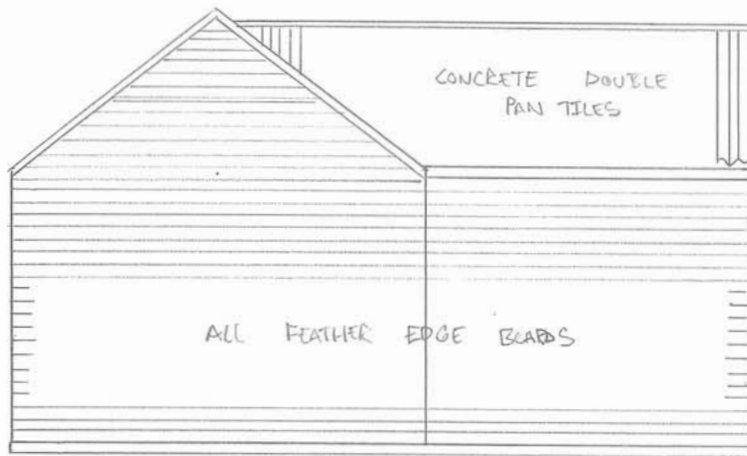
Need to contact the seller?
 Log in to your eBay account and go to your purchase history. For more help, go to the eBay Resolution Centre.

PA/2022/579 Proposed elevations (not to scale)

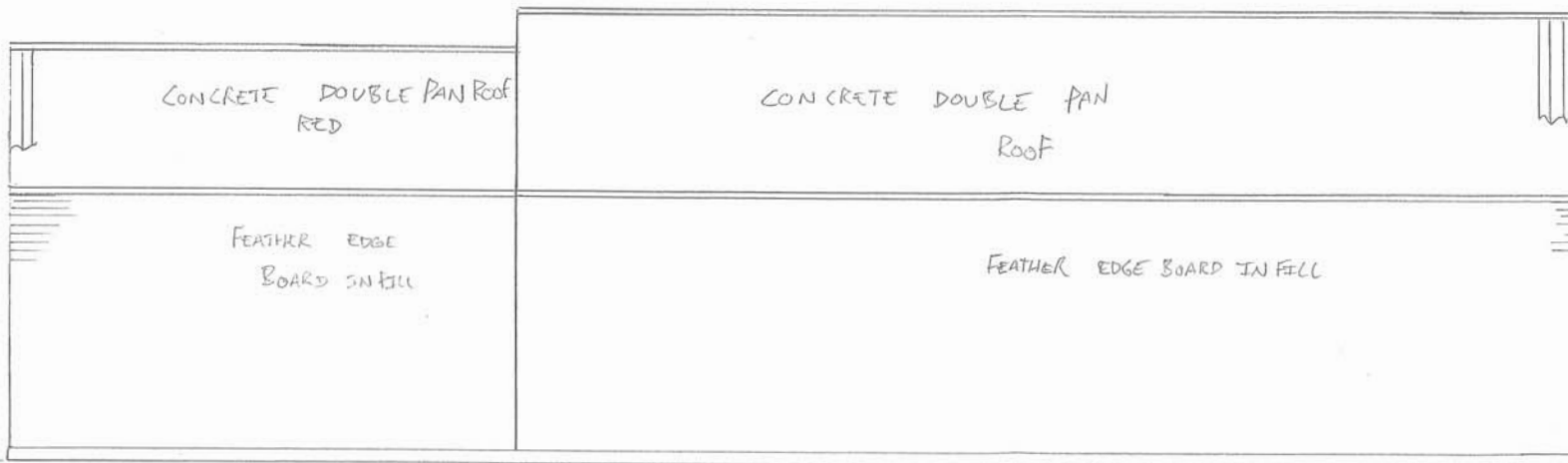
PLANNED PROPOSED GARAGE/STORE/LOG STORE NEBRASKA FARM JNGS ROAD KIRTON DN214BX

EAST ELEVATION

WEST ELEVATION



SOUTH/JNGS ROAD ELEVATION



RECEIVED
16 MAR 2022

SCALE 1-50 1CM-50CM

PA/2022/579/01

PA/2022/579 Proposed north elevation (not to scale)

PLAN (C)

AERIAL VIEW

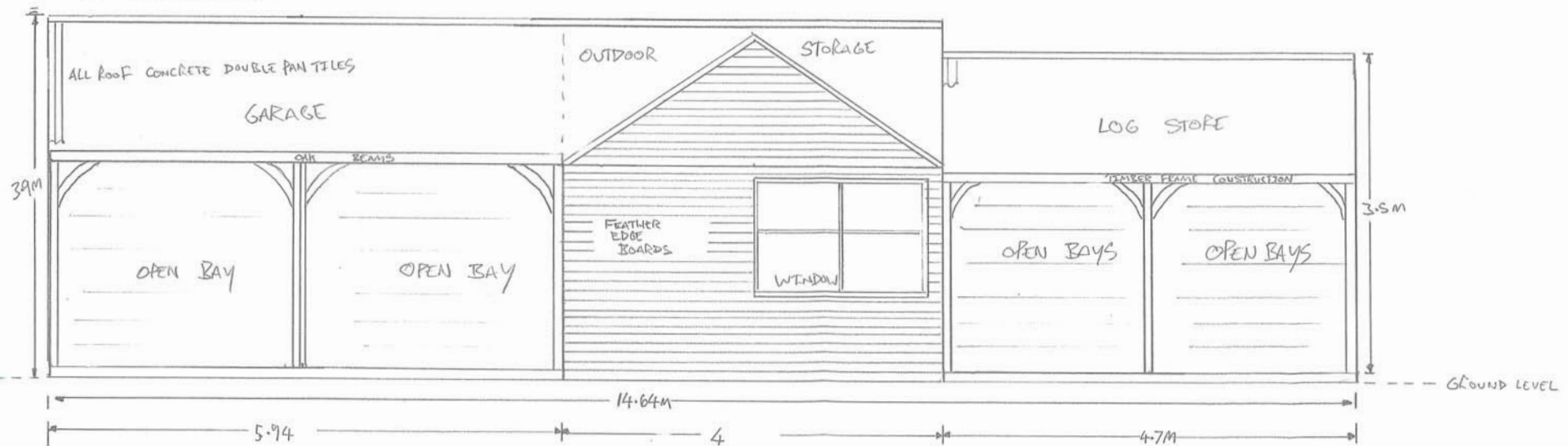
PROPOSED GARAGE/STORE/LOG STORE

NEBRASKA FARM INGS ROAD DN214BX



RECEIVED
16 MAR 2022

NORTH ELEVATION



SCALE 1:50 1cm = 50cm

PA/2022/579/02