

<b>APPLICATION NO</b>	<b>PA/2022/687</b>
<b>APPLICANT</b>	N Brough
<b>DEVELOPMENT</b>	Planning permission for a replacement roof with attic trusses to accommodate second floor with two dormer windows
<b>LOCATION</b>	21 Drewry Lane, Westwoodside, Haxey, DN9 2RE
<b>PARISH</b>	Haxey
<b>WARD</b>	Axholme South
<b>CASE OFFICER</b>	Jess Hill
<b>SUMMARY RECOMMENDATION</b>	<b>Grant permission subject to conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Objection by Haxey Parish Council

## **POLICIES**

**National Planning Policy Framework:** Section 12 (Achieving well-designed places)

**North Lincolnshire Local Plan:** Policies DS1, DS5

**North Lincolnshire Core Strategy:** Policies CS1, CS2, CS3, CS5

**Supplementary Planning Guidance:** SPG1 Design Guidance for House Extensions

## **CONSULTATIONS**

**Highways:** No comments or objections.

**Drainage:** No comments or objections.

**Ecology:** A bat/nesting bird survey is not required on this occasion. However, biodiversity enhancement in the form of swift boxes, house martin nesting cups and/or bat boxes is recommended.

## **PARISH COUNCIL**

Objects. A modest plot in a modern estate, the street scene is a mix of bungalows and two-storey houses. The proposal should not create privacy or overshadowing issues. The proposed roof height is approximately 750mm, which may be considered a small amount but will create a dominating effect in its environment and is inappropriate.

## **PUBLICITY**

A site notice has been displayed. No comments have been received.

## **ASSESSMENT**

### **Site location and context**

The detached dwelling is located in a residential area within Westwoodside, at the end of the cul de sac of Drewry Lane. The dwelling is within the development limits of Westwoodside as identified by the Housing and Employment Land Allocations DPD 2016.

### **Planning history**

- 2/1986/0664: Erection of residential development – approved 16 December 1986
- 2/1989/0485: Construction of an access road – approved 14 December 1989
- 2/1990/0154: Erection of 24 dwellings (outline, to include siting and means of access) – approved 06 April 1990
- 2/1991/0848: Erection of 24 detached houses – approved 21 November 1991
- PA/1996/1577: Erection of 18 detached dwellings (amended house types previously approved under permission 2/0848/91) and a further dwelling – approved 18 October 1996.

### **Designations/constraints**

The site is not located within a conservation area.

There are no tree preservation orders on the site.

The site is located within SFRA Flood Zone 1.

### **Proposal**

Permission is sought to replace the existing roof with attic trusses to accommodate a new second floor within the property. This would slightly increase the height of the roofline and two dormer windows are proposed on the southeast elevation.

### **The main considerations in assessing this application are:**

- **principle of development**
- **residential amenity**
- **design and appearance**

### **Principle of development**

Householder extensions and alterations are acceptable in principle subject to there being no harm to the character and appearance of the property through unsympathetic design or harm to the amenity of neighbouring properties and residential areas. The site is within the development boundary of Westwoodside and there are no other relevant planning constraints which affect the site.

## **Residential amenity**

Policy DS5 (Residential Extensions) states that planning applications for residential extensions and the erection of garages, outbuildings, walls and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, overbearing impact or loss of privacy to adjacent dwellings. The proposals should also be sympathetic in design, scale and materials to the existing dwelling and its neighbours.

20 Drewry Lane is approximately 2.8m to the north-east of the dwelling. As no windows are proposed along the north-eastern elevation, the proposals are considered to be acceptable in terms of impact on the residential amenity of 20 Drewry Lane.

19 Drewry Lane is approximately 13m to the south-west of the dwelling and Bradden House (17 Drewry Lane) is approximately 12.5m to the south. The proposed dormer windows on the front of the property (along the south-eastern elevation) would look onto these properties. However, due to the separation distances between the properties and the positioning of the proposed dormers, it is considered that the proposals will not result in a detrimental impact on the residential amenity of these neighbouring properties. The proposed skylights on the north-western elevation are also considered acceptable in terms of their impact on the residential amenity of neighbouring properties.

The parish council have also not raised any concerns in terms of privacy or overshadowing issues.

Given the location of the existing dwellings around the site, the proposal would not carry any overbearing, overlooking or overshadowing impacts that would be detrimental to residential amenity rights of the adjoining neighbours. The proposal therefore accords with policy DS5 and SPG1.

## **Design and appearance**

Policies DS5 and CS5 (Delivering Quality Design in North Lincolnshire) are concerned with visual amenity. Policy DS5 states that proposals should be sympathetic in design, scale and materials.

The planning application seeks permission to replace the existing roof and increase the height of the roofline in order to accommodate an additional floor within the dwelling to provide additional living space. The parish council have objected on the grounds that the proposed roof height increase will create a dominating effect in its environment that would be inappropriate. However, it is considered that the replacement roof is of a suitable scale compared to the existing roofline as shown by the dotted line on the Proposed Arrangements Plan (1469.02). The proposals are therefore not considered to result in the building being overly dominant or out of scale with surrounding dwellings.

Two gabled dormer windows are also proposed on the front of the dwelling (along the south-east elevation) which are evenly spaced and in line with the windows on the ground and first floors. The dormers follow the proposed roofline and are considered acceptable in terms of their visual impact. There are similar dormer windows in the surrounding area, including at Bradden House (17 Drewry Lane) to the south of the site. The replacement roof is considered acceptable in terms of its scale and design which responds to the context of the street scene.

Along the north-west elevation, the façade remains largely unchanged except for the roof height change and the introduction of three evenly spaced skylights. The changes on this elevation are acceptable in terms of their visual impact.

A suitable material palette is proposed. Concrete interlocking roof tiles and red/multi face brickwork are proposed to match the existing materials. White uPVC frames for the rooflights are proposed which would be consistent with materials on the rest of the dwelling. Black uPVC cladding on the dormer cheeks is proposed. There are examples of similar dark cladding features on other properties within the area including 19 Drewry Lane to the south and as such this is in keeping with the character of the area. The materials are consistent with those on the dwelling and with other properties in the area.

The proposed layout and materials are considered appropriate and the proposal is therefore in accordance with policies DS5 and CS5.

### **Other matters**

As noted above, the council's ecologist has requested the consideration of swift boxes, house martin nesting cups and/or bat boxes. Biodiversity enhancements are encouraged on all proposals, however it is not considered necessary to incorporate these measures given the scale of the proposed development.

### **Conclusion**

The proposed replacement roof, dormer windows and rear skylights are considered to be suitable and in keeping with the character of the street scene.

### **RECOMMENDATION Grant permission subject to the following conditions:**

1.  
The development must be begun before the expiration of three years from the date of this permission.

#### **Reason**

To comply with section 91 of the Town and Country Planning Act 1990.

2.  
The development hereby permitted shall be carried out in accordance with the following approved plans: Existing & Site Plans - 1469.01 and Proposed Arrangements - 1469.02.

#### **Reason**

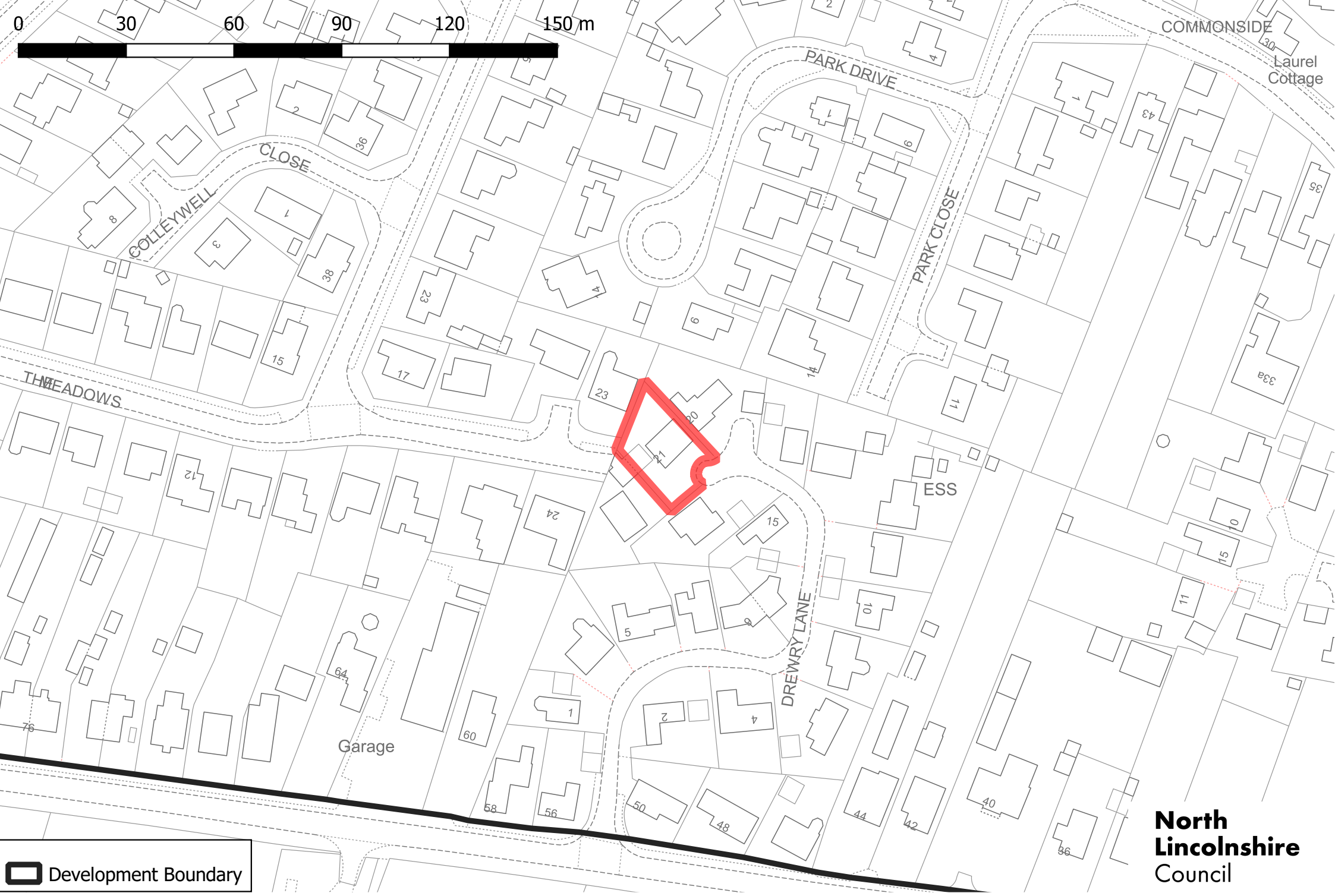
For the avoidance of doubt and in the interests of proper planning.

### **Informative 1**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

**Informative 2**

If bats are found after development has started, works must cease and Natural England be contacted immediately. Natural England's advice must be followed in order that the law is not broken.

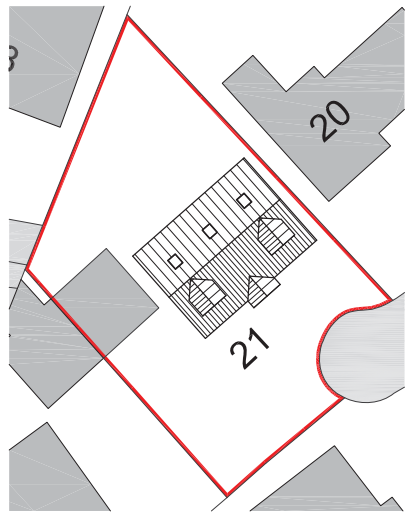


 Development Boundary

**PA/2022/687**

**North  
Lincolnshire  
Council**

# PA/2022/687 Existing plans and elevations, & proposed layout (not to scale)



Proposed Site Layout  
scale 1:200



Existing Block Plan  
scale 1:500



Proposed Block Plan  
scale 1:500



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Location Plan  
scale 1:1250

## PARTY WALL NOTICE(S)

### Building astride (A) or against (B) the boundary line:

If you plan to build a party wall astride or against the boundary line, you must inform the Adjoining Owner by serving a notice.

### Excavating near neighbouring buildings:

If you plan to excavate foundations within 3 metres of a neighbouring building or structure, where the excavation will go deeper than the neighbour's foundations, you must inform the Adjoining Owner by serving a notice.

If you plan to excavate foundations within 6 metres of a neighbouring building or structure, where the excavation will cut a line drawn at 45° from the bottom of the neighbour's foundations, you must inform the Adjoining Owner by serving a notice.

## NOTES:

All dimensions & details given on this drawing are to be checked and verified on site prior to works being undertaken. Any discrepancies and/or variations to the specifications will be those drawings or associated documents are to be referred to Keystone Architecture.

Do not scale from these drawings - If in doubt - ask.

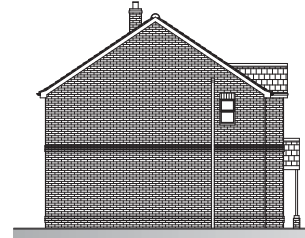
All materials shall be fixed, applied or joined in accordance with the manufacturers written instructions, recommendations and specifications. Variations to specified materials shall be agreed in writing with Keystone Architecture.

The Contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the local Authority, whether or not indicated on the drawings or in the specifications.

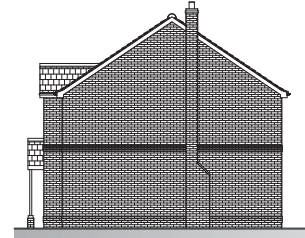
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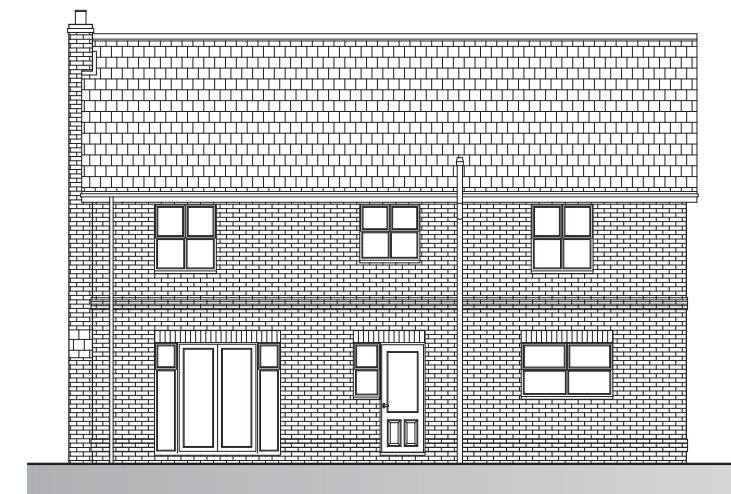
Existing Southeast Elevation



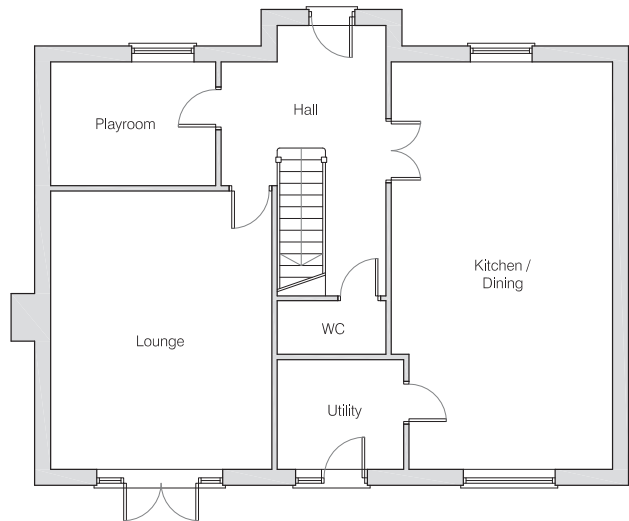
Existing Southwest Elevation



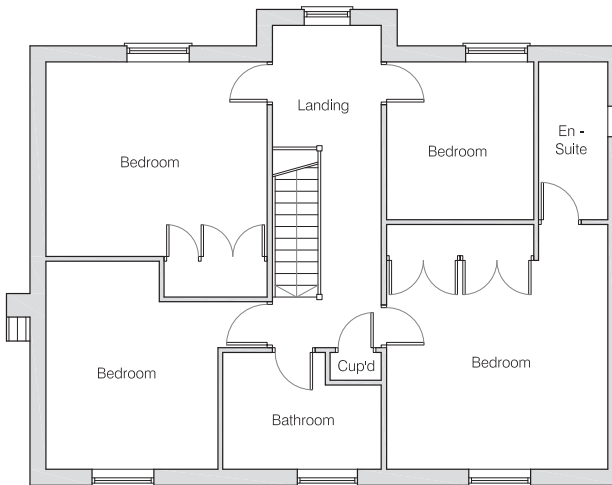
Existing Northeast Elevation



Existing Northwest Elevation



Existing Ground Floor Plan



Existing First Floor Plan

# PA/2022/687 Proposed plans and elevations (not to scale)

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**NOTES:**

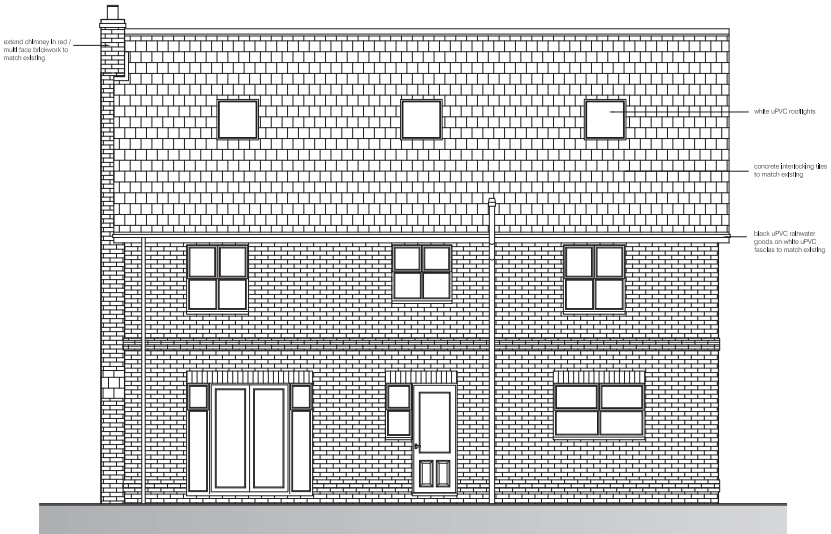
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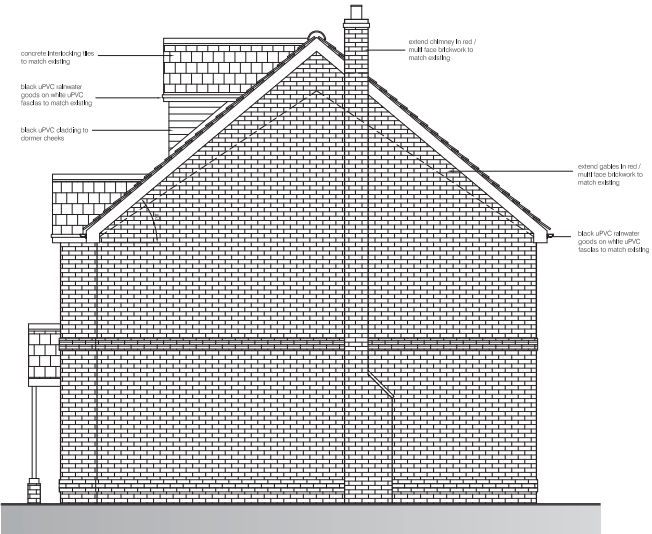
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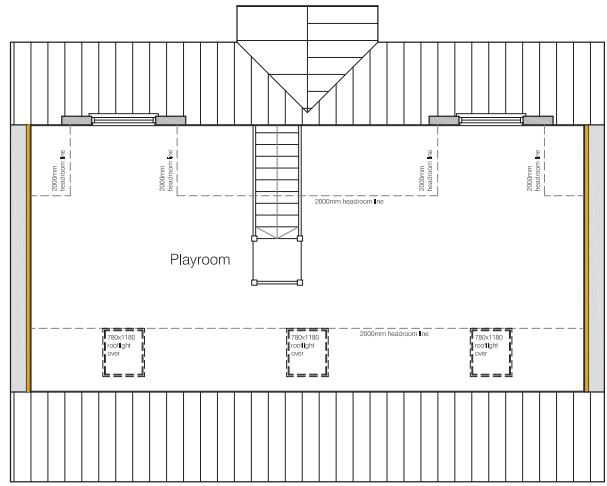
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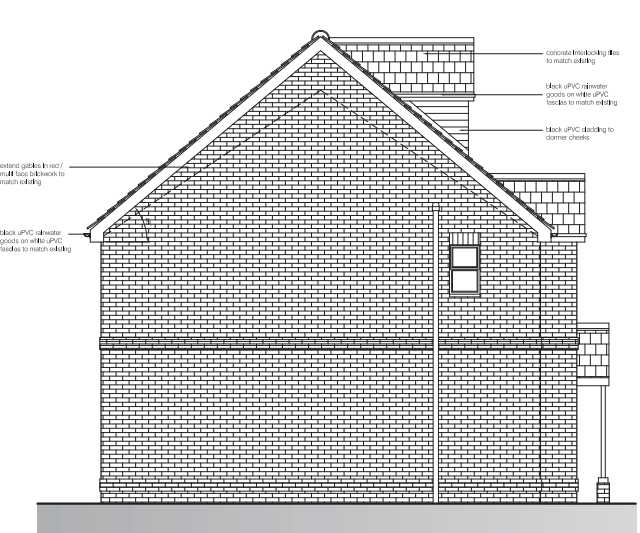
Proposed Northwest Elevation



Proposed Northeast Elevation



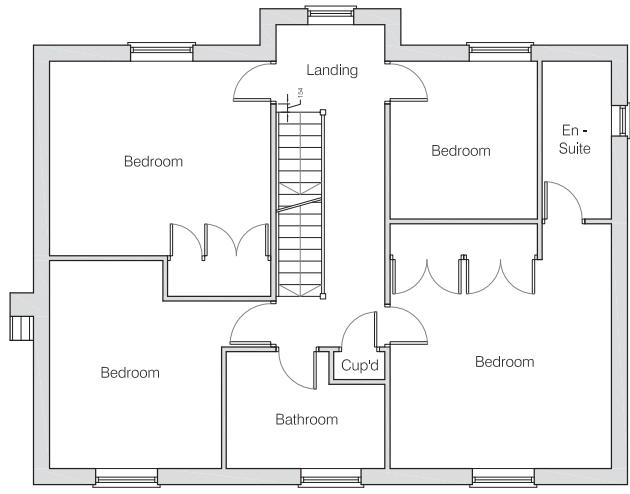
Proposed Second Floor Plan



Proposed Southwest Elevation



Proposed Southeast Elevation



Proposed First Floor Plan

rev	amendment	date	Proposed Arrangements	drawn by	14/09/22
1			stage	drawn	April 22
			scale	drawn by	MP
			scale		

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