

<b>APPLICATION NO</b>	<b>PA/2022/968</b>
<b>APPLICANT</b>	Jones
<b>DEVELOPMENT</b>	Planning permission for a garage conversion with a front bay window
<b>LOCATION</b>	Holly House, 2 Commonside, Westwoodside, DN9 2AP
<b>PARISH</b>	Haxey
<b>WARD</b>	Axholme South
<b>CASE OFFICER</b>	Alan Redmond
<b>SUMMARY RECOMMENDATION</b>	<b>Grant permission subject to conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Objection by Haxey Parish Council

## **POLICIES**

### **National Planning Policy Framework:**

Chapter 2 – Achieving sustainable development

Chapter 4 – Decision-making

Chapter 12 – Achieving well-designed places

### **North Lincolnshire Local Plan:**

DS1 – General Requirements

DS5 – Changes of Use in Residential Areas

T19 – Car Parking Provision

HE5 – Development affecting Listed Buildings

SPG1 Design Guidance for House Extensions

### **North Lincolnshire Core Strategy:**

CS1 – Spatial Strategy for North Lincolnshire

CS2 – Delivering more Sustainable Development

CS3 – Development Limits

CS5 – Delivering Quality Design in North Lincolnshire

## **North Lincolnshire Housing and Employment Land Allocations Development Plan Document**

### **CONSULTATIONS**

**Highways:** No objections.

**LLFA Drainage:** No objections.

### **PARISH COUNCIL**

Objects due to the potential increase in on-street parking due to loss of the garage.

### **PUBLICITY**

Advertised by site notice - no responses received.

### **ASSESSMENT**

#### **Planning history**

2/1992/0808: Erection of a detached dwelling and garage – approved 11/12/1992

PA/2004/0875: Erection of a conservatory – approved 24/06/2004.

#### **Material considerations**

- **principle of development**
- **visual amenity**
- **residential amenity**
- **highway safety.**

#### **Principle of development**

The site is located within the development limits of the rural settlement of Westwoodside where the principle of sustainable development is acceptable, as identified by policy CS3 of the Core Strategy, subject to all other material planning considerations.

The application seeks consent to convert the existing double integral garage to form additional living accommodation. The conversion of an integral garage to accommodation would normally be permitted development; however, the property has had its permitted development rights removed by condition imposed on the original consent for the dwelling under reference 2/1992/0808.

#### **Visual amenity**

The existing property is a two-storey detached dwelling. The proposed conversion of the garage will involve the bricking up of the existing garage opening and the formation of a bay window under the existing canopy which spans the frontage of the property.

It is considered that the proposal will not result in any adverse implications in terms of visual amenity and is therefore considered in accordance with the requirements of policies CS5 and CS6 of the Core Strategy and HE5, DS1 and DS5 of the local plan with regard to visual amenity and heritage, and SPG1.

### **Residential amenity**

Due to the proposal principally being within the envelope of the existing property, it is considered that it will not result in any overshadowing, massing or overbearing impacts. It is considered that the proposal will not result in any adverse implications in terms of residential amenity and is therefore considered in accordance with the requirements of policies CS5, DS1 and DS5 with regard to residential amenity and SPG1.

### **Highway safety**

Concern has been raised by the parish council with regard to the loss of the garage and the potential to displace vehicles onto the highway. The applicants have provided a layout plan detailing that a minimum of two vehicles can be parked to the front of the property. It is considered that the level of off-street parking is sufficient to meet the needs of the property without undue displacement onto the public highway.

The junction of Commonsides and Newbigg Road is controlled by a traffic regulation order which would prevent parking near the junction. It is considered that any displacement onto the highway would not cause any adverse impact to highway safety.

No objections have been raised by the highway authority.

### **Conclusion and planning balance**

The decision has been considered against the relevant policies of the North Lincolnshire Local Plan, the Core Strategy, SPG1 and guidance contained in the National Planning Policy Framework and National Planning Practice Guidance.

It is considered that the proposal represents appropriate development with no outstanding issues. Approval is therefore recommended subject to conditions.

### **RECOMMENDATION      Grant permission subject to the following conditions:**

1.  
The development must be begun before the expiration of three years from the date of this permission.

#### **Reason**

To comply with section 91 of the Town and Country Planning Act 1990.

2.  
The development hereby permitted shall be carried out in accordance with the following approved plans/documents:

- Application Form
- Site Location Plan
- Block Plan Drawing Number 007
- Proposed Elevations and Floor Plans Drawing Numbers 002 and 004.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

The facing materials to be used in the development hereby permitted shall match as closely as possible those used in the construction of the existing building.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, in accordance with policy DS1 of the North Lincolnshire Local Plan.

**Informative**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



# Westwoodside

 Development Boundary

**PA/2022/968**

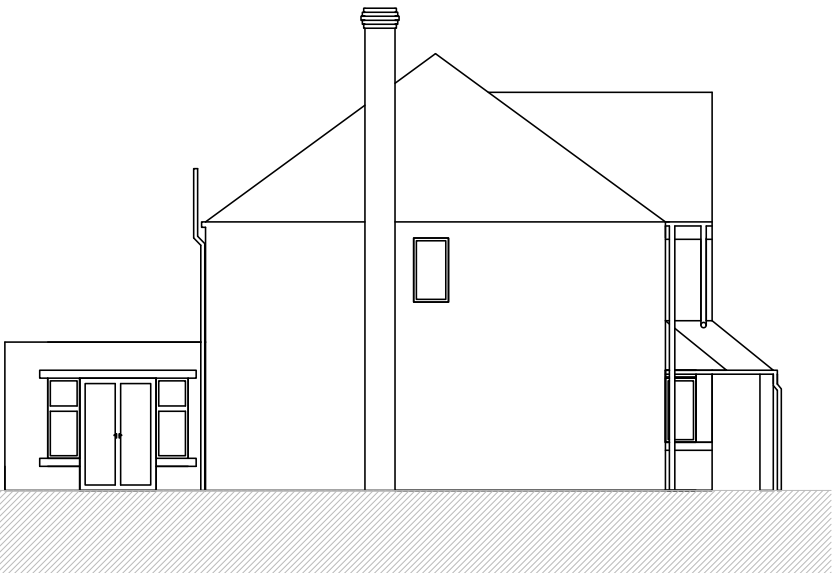
**North  
Lincolnshire  
Council**

# PA/2022/968 Existing elevations (not to scale)

Notes			
Figured dimensions only to be taken from this drawing. Do not scale if in doubt ask.			
Rev	Date	Drawn	Description
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**FRONT ELEVATION 1:50**



**SIDE ELEVATION 1:50**



**SIDE ELEVATION 1:50**



**REAR ELEVATION 1:50**

**MaxDesign**

Architecture | Planning | Consultancy

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status:  
**PLANNING**

client:  
Osborne

project:  
Holly House, Westwoodside, DN9 2AP

title: ELEVATIONS AS EXISTING

scale: 1:50@A1 date: JAN 2022

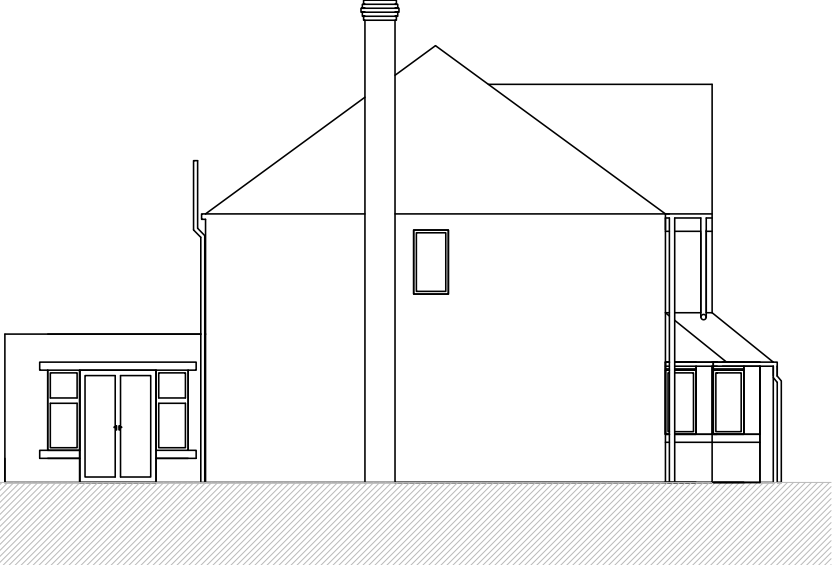
project no: 22002	drawn: PW	number: 003	rev: -
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# PA/2022/968 Proposed elevations (not to scale)

Notes			
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Rev	Date	Drawn	Description
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**FRONT ELEVATION 1:50**



**SIDE ELEVATION 1:50**



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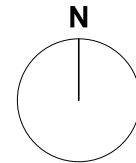
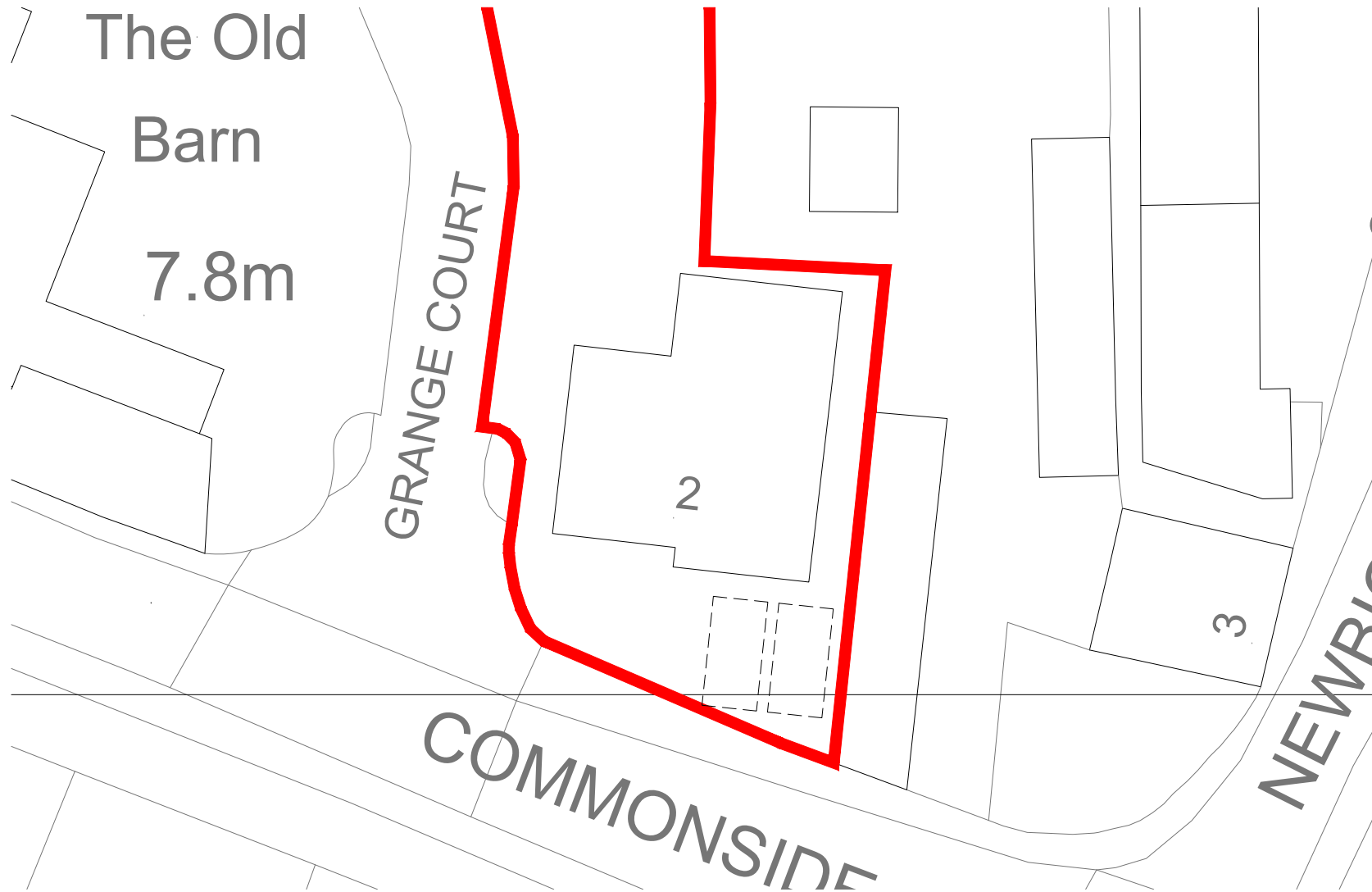


**REAR ELEVATION 1:50**

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<b>PLANNING</b>			
client:			
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project:			
Holly House, Westwoodside, DN9 2AP			
title: ELEVATIONS AS PROPOSED			
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project no:	drawn:	number:	rev:
22002	PW	004	-

# PA/2022/968 Car parking spaces (not to scale)

Notes			
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Rev	Date	Drawn	Description
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status: <b>PLANNING</b>			
client: Osborne			
project: Holly House, Westwoodside, DN9 2AP			
title: Car Parking Plan			
scale: 1:100@A1		date: JAN 2022	
project no: 22002	drawn: PW	number: 007	rev: -