

<b>APPLICATION NO</b>	<b>PA/2022/1374</b>
<b>APPLICANT</b>	Ms Karen Robinson
<b>DEVELOPMENT</b>	Planning permission to erect two detached properties with associated private driveway.
<b>LOCATION</b>	Land rear of 14 Greenhill Road, Haxey, DN9 2JE
<b>PARISH</b>	Haxey
<b>WARD</b>	Axholme South
<b>CASE OFFICER</b>	Emmanuel Hiamey
<b>SUMMARY RECOMMENDATION</b>	<b>Approve with conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Member 'call in' (Cllr David Rose – significant public interest) Objection by Haxey Parish Council

## **POLICIES**

### **National Planning Policy Framework:**

Chapter 2: Achieving sustainable development

Chapter 4: Decision making

Chapter 5: Delivering a sufficient supply of homes

Chapter 9: Promoting sustainable transport

Chapter 11: Making effective use of land

Chapter 12: Achieving well-designed places

Chapter 14: Meeting the Challenge of climate change, flooding, and coastal change

Chapter 16: Conserving and enhancing the historic environment

### **North Lincolnshire Local Plan:**

Policy DS1: General Requirements

Policy DS7: Contaminated Land

Policy DS14: Foul Sewage and Surface Water Drainage

Policy DS16: Flood Risk

Policy H5: New Housing Development (Part)

Policy H7: Backland and Tandem Development

Policy H8: Housing Design and Housing Mix

Policy HE5: Development Affecting Listed Buildings

Policy T2: Access to Development

Policy T19: Car Parking Provision and Standards

**North Lincolnshire Core Strategy:**

Policy CS1: Spatial Strategy for North Lincolnshire

Policy CS2: Delivering More Sustainable Development

Policy CS3: Development Limits

Policy CS5: Delivering Quality Design in North Lincolnshire

Policy CS6: Historic Environment

Policy CS7: Overall Housing Provision

Policy CS8: Spatial Distribution of Housing Sites

Policy CS18: Sustainable Resource Use and Climate Change

Policy CS19: Flood Risk

**New North Lincolnshire Local Plan Submission:** The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until later in 2023.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

Policy SS1: Presumption in Favour of Sustainable Development

Policy SS2: A Spatial Strategy for North Lincolnshire

Policy SS3: Development Principles

Policy SS5: Overall Housing Provision

Policy SS6: Spatial Distribution of Housing Sites

Policy SS10: Development Limits

Policy DQE5: Managing Flood Risk

Policy DQE6: Sustainable Drainage Systems

## **CONSULTATIONS**

**Highway:** No further comments to make following the amended plan, subject to previously recommended conditions.

**LLFA Drainage:** No objections or comments, subject to previously recommended conditions.

**Severn Trent Water:** No objection subject to an informative comment.

**Environmental Protection:** No objection subject to a condition.

**Conservation officer:** No objection subject to conditions.

## **PARISH COUNCIL**

Objects to the application, making the following comments:

- The parish council remains of the view that the proposed development would have an unacceptable negative impact on residential amenity, on the privacy of neighbours (including overlooking two-storey buildings) and the overall established character of the area.
- Whilst the amendments slightly mitigate such impact, they do not fully or sufficiently address the parish council's concerns.
- The proposed development would be out of character with the neighbouring listed building at 14 Greenhill.
- The proposed changes do not address the increase in traffic that would result from the proposal nor the additional access that has now been approved for 14 Greenhill.
- The proposal is and remains backland development on which basis the parish council opposed the application in its original response.
- It is not linear infill which was the case with PA/2022/811.
- The parish council consider this application and its associated application at 14 Greenhill should have been dealt with as one application and not three individual applications.
- The parish council is of the view that the enablement argument is unsound and thus that the application must be judged on its own merits.

## **PUBLICITY**

A press and site notice have been posted. Nine responses have been received (two from the same property) raising the following concerns:

- the scale of the development is vastly disproportionate to surrounding properties
- the dwellings and amenity space provided around them would not be in keeping with properties in the vicinity

- overbearing impact on adjacent properties
- privacy
- overshadowing
- public safety because of the access to Greenhill Road
- vehicular traffic from the proposed development
- loss of wildlife.

## **ASSESSMENT**

This application was deferred at a previous meeting of the planning committee to allow members to visit the site before making a decision.

### **Site constraints**

SFRA flood zone 1

Development boundary

Listed building 30m

### **Planning history (14 Greenhill)**

PA/2022/1278: Listed building consent for renovations and the erection of two-storey extension to the rear and sides of the dwelling – approved 02/12/2022

PA/2022/1021: Planning permission for renovations and the erection of two-storey extensions to the rear and sides of the dwelling – approved 02/12/2022.

### **Site description and proposal**

Planning permission is sought to erect two detached properties with an associated private driveway on land to the rear of 14 Greenhill Road, Haxey. By way of background, this proposal is associated with the subdivision of the garden of 14 Greenhill Road. 14 Greenhill Road is a grade II listed building and is also owned by the applicant.

The site is within the development boundary of Haxey and is surrounded by residential properties. The surrounding properties are a mix of single-storey and two-storey dwellings, located alongside the road with their rear elevations facing the application site.

This proposal is to erect two, two-storey detached dwellings. The dwellings would contain a kitchen/dining area, living room, utility room, study room and sunroom on the ground floor and four bedrooms on the first floor.

The plans show the dwellings would face west in the direction of the driveway. They would have windows in the front and rear elevations on both the ground and first floors. The dwellings would have a window in the south (gable) elevation at first-floor level serving the bathroom. There would be no windows or doors in the north (gable) elevation.

The proposal would have four parking spaces. Two additional parking spaces within the site have been allocated to the property at 14 Greenhill Road and one parking space has been allocated as guest parking provision. The proposal would share a common access with 14 Greenhill Road.

The walls would be rendered at the base with brick above, and the roofs would be pantile.

By way of background, this proposal is the result of negotiations between the planning department and the applicant following concerns about the initial proposal. Furthermore, it was initially recommended that this proposal be submitted together with the repair of the grade II listed 14 Greenhill Road as enabling development. However, due to concerns about structural integrity for the repair of 14 Greenhill Road and a delay over information required to assess the application as enabling development, the applicant opted for the listed building application to be assessed independently to protect the structure of the listed building.

**The key issues to be considered in determining this application are:**

- **the principle of development;**
- **layout, siting and design;**
- **impact on the character of the surrounding area;**
- **impact on the nearby grade II listed 14 Greenhill Road;**
- **impact on neighbouring amenities**
- **highway safety, access and parking.**

### **Principle of development**

Haxey is a rural settlement, and the site is within the development boundary. It is proposed to subdivide the existing garden (backland development) to erect two detached dwellings.

Policy CS2 (Delivering more Sustainable Development) states that in supporting the delivery of the spatial strategy set out in policy CS1, as well as determining how future development needs will be met in North Lincolnshire, a sequential approach will be adopted.

The adopted sequential approach focuses on the following:

- (a) previously developed land and buildings within the Scunthorpe urban area, followed by other suitable infill opportunities within the town, then by appropriate greenfield urban extensions
- (b) previously developed land and buildings within the defined development limits of North Lincolnshire's market towns, followed by other suitable infill opportunities then appropriate small-scale greenfield extensions to meet identified local needs
- (c) small-scale developments within the defined development limits of rural settlements to meet identified local needs.

Policy CS3 (Development Limits) ensure that the countryside is protected from inappropriate development and that no uncontrolled expansion of settlements will take place.

As the development is a small-scale development within the defined limits of Haxey, it is consistent with the aims of policy CS2 (Delivering more Sustainable Development) and meets the terms of policy CS3 (Development Limits).

The principle of development is therefore acceptable.

### **Layout, siting and design**

Policy DS1 (General Requirements) expects a high standard of design in all developments in both built-up areas and the countryside and proposals for poorly designed development will be refused. It requires that all proposals be considered against the quality of the design and amenities, among others. Further to this, the NPPF advises that planning should always seek to secure a good standard of amenities for all existing and future occupants of land and buildings.

Policy CS5 of the Core Strategy requires that all new development in North Lincolnshire should be well-designed and appropriate for their context. This indicates that the council will encourage contemporary design if it is appropriate for its location and is informed by its surrounding context. A design that is inappropriate to the local area or fails to maximise opportunities for improving the character and quality of the area will not be acceptable.

Policy H5 (New Housing Development) requires that the development is in keeping with the scale and character of the settlement and that the scale, layout, height and materials of the development are in keeping and compatible with the character and amenity of the immediate environment and with the settlement. Further, the development must not result in overlooking or a loss of privacy to existing developments, or any other loss of amenity to existing dwellings.

Policy H7 (Backland and Tandem Development) indicated that backland development will be permitted if it would not affect the overall quality and character of the area in which it is located by unacceptably increasing the density of development in that area.

The surrounding area is characterised by linear development; however, there is an exception in the area which includes 11 High Street, and 4A and 4B Greenhill Road which are not located alongside the road and could be defined as backland developments.

As indicated earlier, the site is not located alongside the road and is therefore positioned like 11 High Street, and 4A and 4B Greenhill Road. In considering the siting of this proposal, it would share the existing access positions with 14 Greenhill Road and therefore the access arrangement would avoid any adverse disruption to the appearance of the street scene. Furthermore, the new dwellings would not be placed immediately behind the properties in the area, particularly they would be sited on a reasonably-sized plot, and be unlikely to raise a significant issue of overlooking, loss of amenity, cramping or adverse impact on the character of the area as there would be sufficient separation between dwellings to overcome difficulties of overlooking and loss of amenity that permit a further dwelling within the rear garden of 14 Greenhill Road.

It is worth noting that the planning authority's initial position was single-storey dwellings because they may have less impact on amenity and privacy compared to two-storey

dwellings. Following discussions with the applicant, the initial layout and design of the proposal have been amended and it is judged that the amended drawing (the proposed two-storey development) has been designed such that it has overcome the concerns raised by the planning department.

In line with the above policies and the character of the area, a proposal for a subdivision of a plot should ensure that the existing and proposed dwelling plot is of a sufficient dimension and that the proposed layout and spacing of the dwellings reflect the established pattern of housing development in the area and do not result in loss of privacy to surrounding residential amenity.

Having reviewed the proposal, the block plan shows that two dwellings on the site would fit in well with the character of the area. Furthermore, it is judged that this proposal would retain appropriate curtilage.

Regarding the impact on the street scene, the site is backland development and therefore there would be no negative impact on the street scene.

In terms of facing materials, it is proposed to use TBS Old Watermill Red Brick with ivory render to part of the ground floor. These finishes are considered to be acceptable in this rural area which comprises a mix of brick types and some rendered properties. The roof tiles are to be Sandtoft Old Hollow Victorian Pantile – Weathered which would not raise an issue since they would conform with the character and appearance of the area. Windows will be coloured cream and external doors will be blue; again this will not detract from the character and appearance of the area.

Overall, the layout, scale and design of the development are appropriate. The dwellings have been suitably sited away from the common boundaries with adjacent properties to ensure they do not have any adverse overlooking, overshadowing or overbearing impact on key areas of private amenity to adjacent properties. From the above, the proposal complies with policies DS1, H5 and H7 of the local plan, and CS5 of the Core Strategy.

### **Residential amenity**

Policy DS1 (General Requirements) seeks to ensure there is no unacceptable loss of amenity to neighbouring land uses in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing.

Policy H7 (Backland and Tandem Development) indicates that backland development will be permitted if there is no adverse effect on the amenities of any residential premises or adjoining uses through overlooking, loss of privacy or loss of amenity area to adjoining dwellings.

With regard to amenity in terms of overbearing impact and overshadowing, this proposal is for two-storey dwellings suitably sited away from the common boundaries with adjacent properties to ensure they do not have any adverse overlooking, overshadowing or overbearing impact on key areas of private amenity to adjacent properties.

Regarding privacy, the plans show that the dwellings would face the west in the direction of the driveway. They would have windows on the front and rear on both the ground floor and the first floor. In the south elevation (gable), the dwellings would have a window on the first floor serving the bathroom which will be conditioned to be obscure glazed to safeguard privacy. There would be no windows or doors in the north elevation (gable).

Having reviewed the potential impact of the windows on the amenity of neighbouring properties, the main concerns would be the front and rear windows, in terms of privacy from the first floor. In this case, the separation distances from the windows at the rear and the front to the common boundary with the adjacent properties would be approximately 20 metres. In this case, the separation distances are considered acceptable because they would allow reasonable privacy for neighbouring properties and sufficient garden space would remain.

The site is currently screened by a 1.8 metre high timber fence and therefore it is unlikely the ground floor windows would raise any amenity issues.

On balance, the proposal would not result in overlooking, loss of privacy or loss of amenity area to the neighbouring dwellings and therefore accord with the relevant policies of the local development plan.

### **Enabling development**

The NPPF supports enabling development. Enabling development is a planning mechanism which permits a departure from planning policies in appropriate cases (see NPPF paragraph 202), and so enables the conservation of a relevant heritage asset in cases where otherwise the future of the asset would not be secured.

The case for enabling development rests on there being a conservation deficit. Simply put, this is the amount by which the cost of repair (and conversion to optimum viable use if appropriate) of a heritage asset exceeds its market value on completion of repair or conversion, allowing for appropriate development costs.

In terms of the justification of the development as enabling development, the applicant has submitted a Marketing Report and Costings of the value of 14 Greenhill Road, upon completion of works to the listed building to a satisfactory standard. These contain the estimated costs of refurbishment and the value of the proposed two residential building plots to the rear of the property in support of the proposal as enabling development.

The Marketing Report and Costings confirms there would be a cost deficit and therefore, in principle, the proposal meets the terms of the enabling development.

The conservation officer has been consulted on the Marketing Report and Costings of the application. The officer has indicated that the applicant has provided a financial justification statement by a reputable chartered surveyor and valuer as recommended.

Furthermore, the conservation officer provided advice at the pre-application stage. The officer concluded that 14 Greenhill Road has been empty for many years and has not been well looked after. This listed building has reached a stage where it is at risk and needs to be refurbished. The proposal states that the two new dwellings are required to provide the economic platform for its refurbishment.

As stated, the listed building was at real risk of being lost due to its condition and no prospective owners had come forward in many years until the present applicant.

The submitted marketing and valuation report shows there is a significant financial deficit or gap funding in refurbishing and saving the listed building.



The proposal for enabling development is a key material consideration in the determination of this application. And as stated this is dependent on the scale, form and style of the new dwellings. Harm can be mitigated through a well-designed traditional built form using a palette of traditional materials so that the new development complements the historic setting of the listed building. The scale of any intervisible new built form should not dominate the listed building.

The design of the proposed buildings has been amended to be pushed further back into the plot in an easterly direction which reduces the intervisibility between the new development and the listed building reducing the impact on the setting.

In addition, the design of the buildings has been altered to one with a more traditional frontage which helps integrate the buildings into the historic site and be more complementary to the character of the listed building.

The submitted marketing and valuation report shows that the addition of these plots will cut the financial deficit to a break-even point enabling the long-term conservation of the listed building.

Section 202 of the NPPF states, where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

There is some harm to the setting of the listed building by the introduction of two new dwellings in its original setting. This harm has been reduced by an amended design with a more traditional form and the buildings being moved further away from the listed building reducing intervisibility.

The public benefits of saving the listed building for future generations and securing its optimum viable use (residential) would, on balance, outweigh the harm in this instance.

Therefore, there is no objection to the proposal and the case for enabling development is valid. The harm can be further mitigated through a well-built form using a palette of traditional materials and details which can be controlled by condition. It is recommended that a condition be included requiring details of the facing and roofing materials, and scale drawings of the proposed windows and doors with material specifications, to be included for consideration before installation.

The planning authority has reviewed the comments from the conservation officer and assessed the local plan policy, and the case of whether the benefits of the proposal as enabling development would conflict with planning policies but secure the future conservation of the listed building or outweigh the harm of departing from those policies. Following the review, the planning department has concluded that the proposal would not conflict with the relevant local development plan policies and the benefits of the proposal would outweigh the harm in this case.

Overall, this proposal has been submitted as enabling development and is supported by the planning authority as enabling development. Further, it complies with the local development plan policies.

In conclusion, the proposal is regarded as enabling development and will secure the long-term future of the listed building (14 Greenhill). The proposal is therefore judged to be appropriate and acceptable in this regard.

### **Drainage**

Policy CS19 of the Core Strategy is concerned with flood risk and policy DS14 of the local plan is concerned with foul sewage and surface water drainage. Policy DS16 of the local plan seeks to ensure that new development should not be at risk from flooding.

The site is within SFRA flood zone 1, which has a low probability of flooding. The LLFA Drainage Team has no objections or comments to make on the development subject to conditions and informative comments.

### **Highway safety**

Policy T2 of the North Lincolnshire Local Plan states that all development should be served by satisfactory access. Policy T19 is concerned with parking provisions as well as general highway safety.

Policy H5 (New Housing Development) requires that development must have adequate and appropriately designed access which will not create any traffic or road safety hazard. Adequate parking within the curtilage of the site is provided to ensure that no on-street parking occurs which would be to the detriment of the free and safe flow of vehicles using the public highway.

The block plan shows the proposal would have four parking spaces. Two additional parking spaces within the site have been allocated to 14 Greenhill Road and one parking space has been allocated as guest parking provision, and a turning area would be provided within the site. The proposal would share a common access with 14 Greenhill Road.

Highways have been consulted and have no objection to the proposal subject to conditions.

### **Contaminated land**

The NPPF states that to prevent unacceptable risks from pollution and land instability, planning policies and decisions should ensure that new development is appropriate for its location. Policy DS11 is concerned with polluting activities. It states that planning permission for development, including extensions to existing premises and changes of use, will only be permitted where it can be demonstrated that levels of potentially polluting emissions, including effluent, leachates, smoke, fumes, gases, dust, steam, smell or noise, do not pose a danger by way of toxic release. Policy DS1 is also concerned with the protection of amenities.

The Environmental Protection team has reviewed the proposal and has no objection to the application subject to a pre-commencement condition.

The officer has commented that the application for residential development is a sensitive end-use. It is the developer's responsibility to assess and address any potential contamination risks. No supporting information has been provided by the applicant that demonstrates the land has not been impacted by contamination and that any potential risks can be reduced to an acceptable level.

## **Parish council comments**

Turning to the objection by the parish council, the concerns raised regarding the negative impact on residential amenity, in terms of privacy of neighbours (including overlooking two-storey buildings) and the overall established character of the area have been addressed in this report.

On the matter that the proposed development would be out of character with the neighbouring listed building at 14 Greenhill Road, this is enabling development, where the development is judged as the only means of securing the long-term retention and re-use of a listed building, as the listed building is at risk of imminent collapse or further decay. There is some harm to the setting of the listed building caused by this development but this harm is clearly outweighed by the public benefits of the proposal.

On the concerns that the proposed changes do not address the increase in traffic that would result from the proposal, this proposal would share the existing access with 14 Greenhill Road, and the scale of the development is not anticipated to raise a significant increase in traffic on the road. Highways have reviewed the proposal and have no objections or concerns about an increase in traffic.

The council has indicated that the proposal is not linear infill which was the case with PA/2022/811. It is worth noting that every planning application is assessed on its merits.

In the case of enabling development, the parish council is within its right to dispute the case for enablement. As outlined in the report, the proposal meets the terms of enabling development.

The concern about compliance with policy CS2 (Delivering more Sustainable Development) has been addressed in this report.

## **Public comments**

The public have raised concerns about the scale of the development, amenity impact and public safety due to vehicular traffic. The concerns have been addressed in this report.

## **Conclusion**

The principle of the proposal within the development boundary is acceptable. The proposed subdivision of the existing dwelling plot by infilling the garden to erect two detached properties in principle is acceptable. The siting, scale and design of the development would not raise significant issues such as overbearing impact, overlooking or privacy to warrant refusal. The siting, layout, scale and design of the dwellings are also deemed acceptable and would not harm the character of the area.

The planning authority has reviewed the case for enabling development and judged that the benefits of the proposal as enabling development would not conflict with the terms of the NPPF and planning policies. It would secure the future conservation of the listed building and any unanticipated harm would not outweigh the benefits of the proposal. Overall, the case for enabling development is supported by the planning authority.

Further, the proposal complies with the relevant policies of the local development plan. The proposal is therefore recommended for approval.

## **Pre-commencement conditions**

The pre-commencement conditions have been agreed with the applicant.

### **RECOMMENDATION      Grant permission subject to the following conditions:**

1.  
The development must be begun before the expiration of three years from the date of this permission.

#### **Reason**

To comply with section 91 of the Town and Country Planning Act 1990.

2.  
The development hereby permitted shall be carried out in accordance with the following approved plans:

- Proposed Location Plan Dwg. No. PA\_002\_E\_PR\_SLP Rev. E
- Proposed Floor Plan Dwg. No. PA – 102 – A – 0 – GA – PP Rev. 0
- Proposed Elevations Dwg. No. PA – 103 – A – 0 – GA – PE
- Existing Site Location Plan Dwg. No. PA – 100 – A – EX – SLP Rev. A.

#### **Reason**

For the avoidance of doubt and in the interests of proper planning.

3.  
No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

#### **Reason**

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraph 163 of the National Planning Policy Framework.

4.  
No development shall take place until details showing an effective method of preventing surface water run-off from the highway onto the developed site have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

#### **Reason**

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

5.  
No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken in accordance with details to be submitted to

and approved in writing by the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

6.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking and turning space serving it have been completed and once provided, the vehicle parking and manoeuvring space shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

7.

No dwelling served by the private driveway shall be occupied until it has been constructed in accordance with details including:

- (i) the proposed method of forming access from the highway, including the required visibility splays;
- (ii) the method of constructing/paving the drive;
- (iii) the provision of adequate drainage features;
- (iv) the provision of suitable bin collection facilities adjacent to the highway;
- (v) the provision of suitable lighting arrangements; and
- (vi) the provision of street name plates that shall include the words 'Private Drive';

which have been agreed in writing by the local planning authority. Once constructed the private driveway shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

8.

No dwelling on the site shall be occupied until the private driveway has been completed, to a standard to be agreed beforehand in writing with the local planning authority, up to its junction with the vehicular access to that dwelling.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

9.

Unless otherwise agreed by the local planning authority, development other than that required to be carried out as part of an approved scheme of remediation must not commence until parts 1 to 4 below have been complied with. If unexpected contamination is found after development has begun, development must be halted on that part of the site affected by the unexpected contamination to the extent specified by the local planning authority in writing until part 4 has been complied with in relation to that contamination.

#### Part 1: Site characteristics

A Phase 1 desk study shall be carried out to identify and evaluate all potential sources of contamination and the impacts on land and/or controlled waters, relevant to the site. The desk study shall establish a 'conceptual model' of the site and identify all plausible pollutant linkages. Furthermore, the assessment shall set objectives for intrusive site investigation works/Quantitative Risk Assessment (or state if none is required). Two full copies of the desk study and a non-technical summary shall be submitted to the local planning authority for approval prior to proceeding to further site investigation.

An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the local planning authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the local planning authority. The report of the findings must include:

- (i) a survey of the extent, scale, and nature of contamination;
- (ii) an assessment of the potential risks to:
  - human health;
  - property (existing or proposed) including buildings, crops, livestock, pets, woodland, and service lines and pipes;
  - adjoining land;
  - groundwaters and surface waters;
  - ecological systems;
  - archaeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and a proposal of the preferred option(s).

This must be conducted in accordance with Environment Agency's Land Contamination Risk Management (LCRM) guidance in October 2020.

#### Part 2: Submission of remediation scheme

A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared and is subject to the approval in

writing of the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

#### Part 3: Implementation of approved remediation scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation unless otherwise agreed in writing by the local planning authority. The local planning authority must be given two weeks written notification of commencement of the remediation scheme works.

Following the completion of measures identified in the approved remediation scheme, a verification report (referred to in PPS23 as a validation report) that demonstrates the effectiveness of the remediation carried out must be produced and is subject to the approval in writing of the local planning authority.

#### Part 4: Reporting of unexpected contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Part 1, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Part 2, which is subject to the approval in writing of the local planning authority.

Following the completion of measures identified in the approved remediation scheme, a verification report must be prepared, which is subject to the approval in writing of the local planning authority in accordance with Part 3.

#### Reason

To ensure the site is safe for future users and construction workers.

10.

No development shall take place until samples of the facing and roofing materials, and scale drawings of the proposed windows and doors with material specification, have been submitted to the local planning authority for approval in writing before installation. Only the approved materials shall be used.

#### Reason

To retain the character of the listed building in accordance with Section 66 of the Planning (Listed Buildings & Conservation Areas Act 1990), and policies CS6 of the Core Strategy and HE5 of the North Lincolnshire Local Plan.

11.

No dwelling shall be occupied until the bathroom window at first-floor level in its southern elevation has been obscure glazed to a minimum of Privacy Level 3 in accordance with the Pilkington Scale of Obscuration and it shall be retained in that condition thereafter.

## Reason

To protect the living conditions of the occupants of the approved dwellings in accordance with policies CS5 of the Core Strategy and DS1 of the North Lincolnshire Local Plan.

## Informatives

1.

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

2.

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued.
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

3.

Severn Trent Water advises that although their statutory sewer records do not show any public sewers within the area you have specified, there may be sewers that have been recently adopted under The Transfer of Sewer Regulations 2011. Public sewers have statutory protection and may not be built close to, directly over or be diverted without consent and you are advised to contact Severn Trent Water to discuss your proposals. Severn Trent will seek to assist you in obtaining a solution which protects both the public sewer and the building.

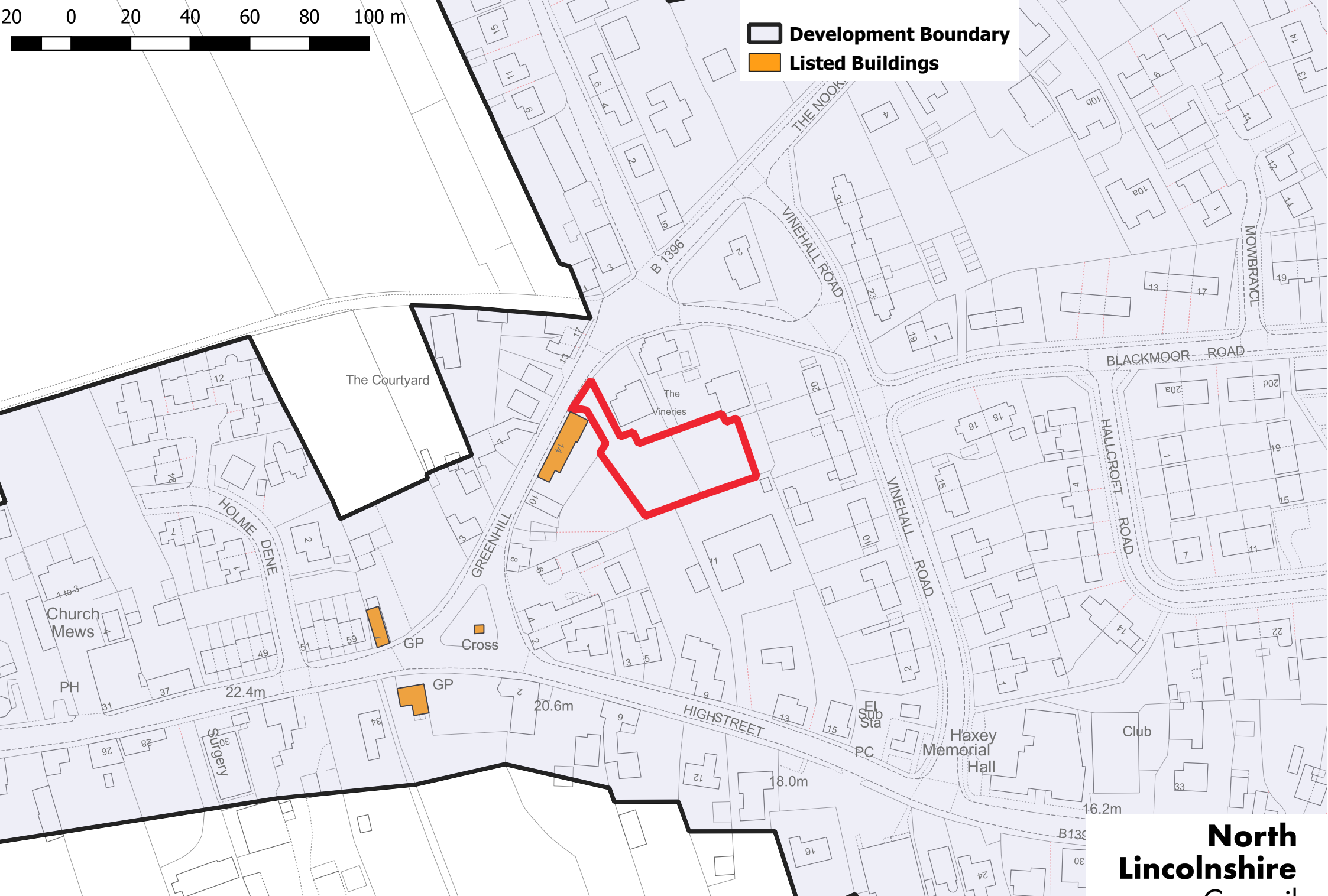
4.

We would also suggest you consider upsizing the pipe network and increasing storage around your development to cater for more intense storm conditions. Although this is not a requirement in terms of surface water flood risk compliance it would be good practice on your behalf to ensure an increased level of resilience for the development and its future occupiers.



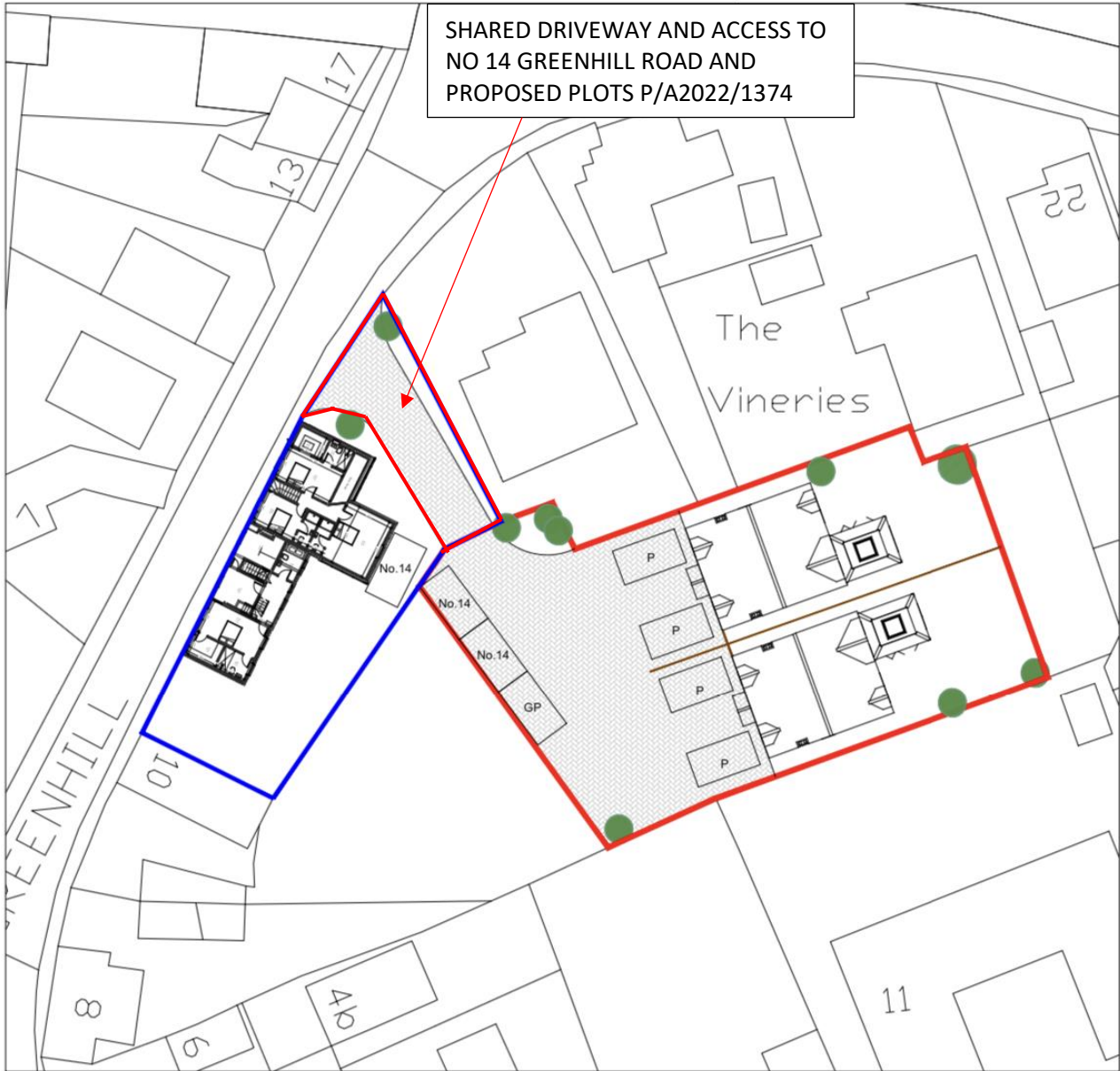


 **Development Boundary**  
 **Listed Buildings**



**PA/2022/1374**

# PA/2022/1374 Proposed layout (not to scale)



REV:	DESCRIPTION:	BY:	DATE:
STATUS:		Approval	



CLIENT:  
**Ms Robinson**

SITE:  
14 Greenhills Road, Haxey

TITLE:  
Proposed Location Plan

SCALE AT A4: 1:500	DATE: 25/07/22	DRAWN: JH	CHECKED: XX
PROJECT NO: 2072	DRAWING NO: PA_002_E_PR_SLP	REVISION:	E

- E Boundary Lines Tweaked. 23/05/2023
- D Scheme Amended. 21/03/2023
- C Scheme Amended. 08/02/2023
- B Boundary Tweaked 18/11/2022
- A Tweaks to mitigate overlooking. 24/08/2022

# PA/2022/1374 Proposed elevations (not to scale)

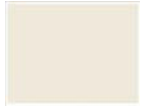
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**Notes:**  
 DO NOT scale from this drawing. All measurements are in millimeters unless stated otherwise. All measurements and levels to be verified onsite prior to commencing works. Notify the lead designer. PHASE Architecture of any discrepancies onsite.

CLIENT:

**Ms Robinson**

REV	REV DESC.	DATE



**RAL 9001**  
Cream

Window Colour



**RAL 5023**  
Distant Blue

Door Colour

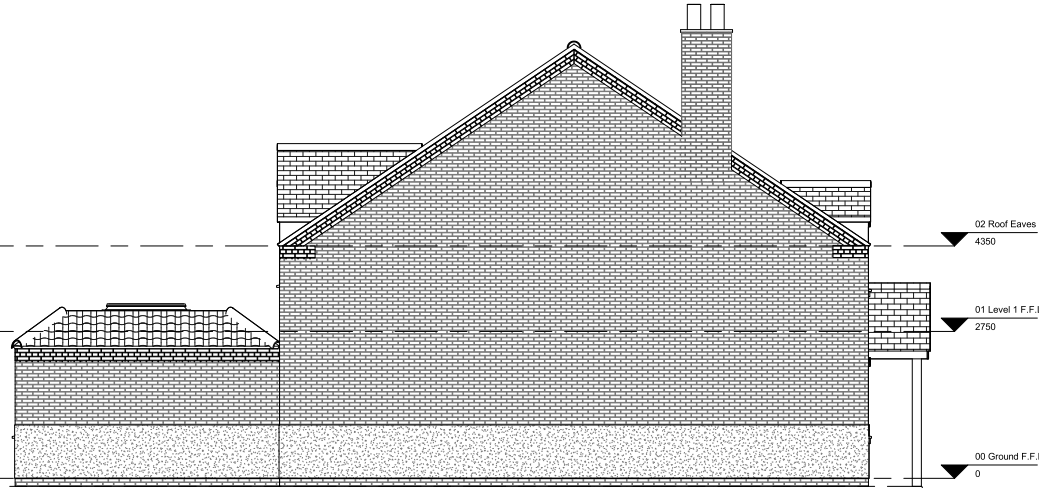


Front Elevation

1 : 50

Monocouche XF  
Render Ivory

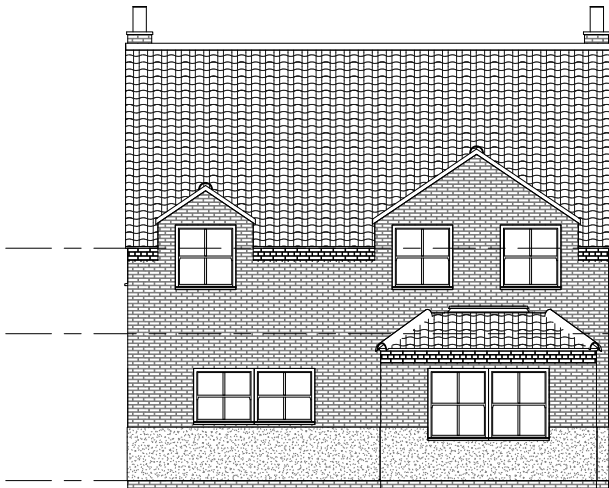
TBS Old Watermill  
Red Brick



Side Elevation

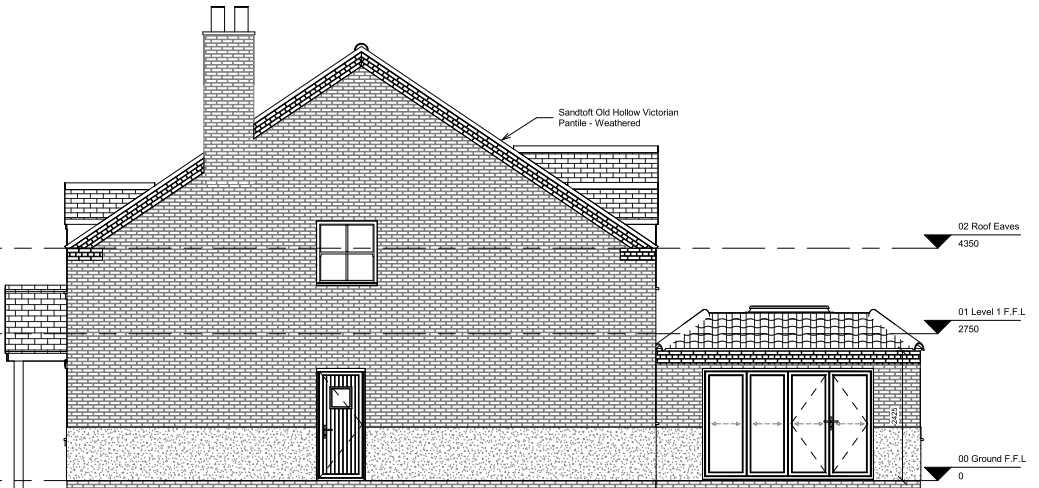
1 : 50

02 Roof Eaves  
4350  
01 Level 1 F.F.L.  
2750  
00 Ground F.F.L.  
0  
Site  
-150



Rear Elevation

1 : 50



Side Elevation

1 : 50

Sandtoft Old Hollow Victorian  
Pantile - Weathered

02 Roof Eaves  
4350  
01 Level 1 F.F.L.  
2750  
00 Ground F.F.L.  
0  
Site  
-150

**PHASE**  
Architecture

PROJECT  
Land to the Rear of 14 Greenhill Road

DRAWING NAME  
Proposed Elevations

DRAWING NUMBER  
PA - 103 - A - 0 - GA - PE

DATE  
03/02/2023

SCALE @ A1  
1 : 50

PROJECT NO.  
2072

REV

ORIGINATOR	CHECKED	AUTHORISED
JH	XX	XX