

APPLICATION NO	PA/2022/1829
APPLICANT	R Elwes, Fund of the Elwes Children's 1989 Settlement Trust
DEVELOPMENT	Planning permission to convert existing farm buildings into seven dwellings
LOCATION	Roxby Grange Farm, North Street, Roxby, DN15 0BN
PARISH	Roxby
WARD	Burton upon Stather and Winterton
CASE OFFICER	Daniel Puttick
SUMMARY RECOMMENDATION	Approve with conditions
REASONS FOR REFERENCE TO COMMITTEE	Member 'call in' (Cllr Janet Lee – significant public interest)

POLICIES

National Planning Policy Framework:

Chapter 2: Achieving sustainable development

Chapter 4: Decision-making

Chapter 5: Delivering a sufficient supply of homes

Chapter 8: Promoting healthy and safe communities

Chapter 9: Promoting sustainable transport

Chapter 11: Making effective use of land

Chapter 12: Achieving well-designed places

Chapter 15: Conserving and enhancing the natural environment

North Lincolnshire Local Plan:

Policy H8: Housing Design and Housing Mix

Policy RD2: Development in the Open Countryside

Policy RD9: Re-use and/or Adaptation of Rural Buildings for Residential Use in the Open Countryside

Policy T2: Access to Development

Policy T19: Car Parking Provision and Standards

Policy DS1: General Requirements

Policy DS7: Contaminated Land

Policy DS14: Foul Sewage and Surface Water Drainage

Policy DS16: Flood Risk

Policy LC5: Species Protection

Policy LC6: Habitat Creation

Policy HE9: Archaeological Excavation

North Lincolnshire Core Strategy:

Policy CS1: Spatial Strategy for North Lincolnshire

Policy CS2: Delivering more Sustainable Development

Policy CS5: Delivering Quality Design in North Lincolnshire

Policy CS6: Historic Environment

Policy CS7: Overall Housing Provision

Policy CS8: Spatial Distribution of Housing Sites

Policy CS17: Biodiversity

Policy CS18: Sustainable Resource Use and Climate Change

Policy CS19: Flood Risk

Policy CS25: Promoting Sustainable Transport

Housing and Employment Land Allocations DPD:

Policy PS1: Presumption in Favour of Sustainable Development

New North Lincolnshire Local Plan Submission:

The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until later in 2023.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

Policy SS1: Presumption in Favour of Sustainable Development

Policy SS2: Spatial Strategy for North Lincolnshire

Policy SS3: Development Principles

Policy SS5: Overall Housing Provision

Policy SS11: Development Limits

Policy H2: Housing Mix and Density

Policy RD1: Supporting Sustainable Development in the Countryside

Policy DQE1: Protection of Landscape, Townscape and Views

Policy DQE2: Landscape Enhancement

Policy DQE3: Biodiversity and Geodiversity

Policy DQE5: Managing Flood Risk

Policy DQE6: Sustainable Drainage Systems

Policy DQE12: Protection of Trees, Woodland and Hedgerows

Policy HE1: Conserving and Enhancing the Historic Environment

Policy T1: Promoting Sustainable Transport

Policy T3: New Development & Transport

Policy T4: Parking

Policy DM1: General Requirements

Policy DM3: Environmental Protection

CONSULTATIONS

Highways: Having reviewed the speed data provided by the applicant, this demonstrates that all vehicles are travelling at speeds significantly below the posted speed limit. Whilst the proposed development is somewhat remote from Roxby, it is for a small number of dwellings generating a minimal number of trips, which can be accommodated on the highway network.

Whilst the proposed area of adopted highway is small, it does overcome the issue of the number of dwellings served by a private drive. From the plans provided, they are proposing to have a gravel surface for the private drives. We would prefer to see a hard paved surface, but this can be dealt with by condition.

Recommend several standard conditions be applied should permission be granted.

Environmental Protection: No objections subject to conditions relating to site investigation, remediation, verification and unexpected contamination.

Drainage (Lead Local Flood Authority): Currently there is insufficient information to enable a full assessment of the development to be carried out. For example, the application

refers to soakaways being feasible based on historical nearby borehole data. Our records indicate that poor infiltration exists within the locale and as such requires full investigation at detailed design stage. The proposed development is classed as a more sensitive end use and it is therefore suggested the applicant considers investigating the existing surface water drainage arrangements/layout for the development. Taking the above into consideration, the LLFA Drainage Team has no objection to the proposed development subject to the imposition of conditions.

Ecology: The re-use of buildings is encouraged by the landscape guidelines, but ornamental trees should be replaced with native species. The surveyors found no evidence of bat roosts, though five species of bat were active in the area. Indian (Himalayan) Balsam should be eradicated, if possible. If permission is ultimately granted, a revised biodiversity metric will be required, setting out on- and off-site biodiversity creation enhancement. The improvements should be secured by condition and/or an S106.

Archaeology: The farm buildings at Grange Farm are a non-designated heritage asset of local historic value that contribute to the rural character of the countryside and form a legible connection to the agricultural heritage of the parish. The HER does not object to the sensitive conversion of the farm buildings. The application site lies within an area where archaeological remains of prehistoric and Roman date can be anticipated. A programme of archaeological monitoring and recording should be undertaken during all groundwork to offset the harm to any archaeological remains that may be disturbed or destroyed by construction. Where the planning authority is minded to grant consent, any permission should be subject to conditions securing the implementation of an approved Written Scheme of Investigation (WSI) detailing the archaeological work.

PARISH COUNCIL

Think the proposal is good and have no objection to the development as it is about time this plot and these buildings were put to good use. However, the speed limit should be reduced to 30mph on this section of road due to the access being on a bend with poor vision and the road width is not all that generous. It is 60mph at present.

PUBLICITY

A site notice has been displayed in accordance with Article 15 of the Development Management Procedure Order 2015. No letters of objection or support have been received from members of the public, however correspondence has been received from one interested party connected with the applicants. The correspondence raises civil matters in respect of land ownership which are not material planning considerations and are for the local planning authority to determine. On the basis of the information provided as part of the application, the local authority is satisfied that the correct ownership certificates have been signed and that the matters raised in correspondence received from the interested party should not prevent the committee from reaching a decision on the application.

ASSESSMENT

Planning history

None.

Site characteristics

The application site comprises existing farm buildings and a former horse yard located on the northern side of North Street, east of Roxby. The buildings appear on the Historic Environment Record (HER) as number 24931 and are identified as a non-designated heritage asset possessing architectural and historic interest which merits consideration in the assessment of development proposals.

Dating in part to the 19th century, buildings are arranged in an almost fully enclosed courtyard, with inward-facing elevations. A further detached building lies a short distance north from the main group of buildings within the site. This lies adjacent to a modern barn which is to be retained and is excluded from the red line boundary. The modern barn is identified as building B7 within the accompanying documents, but is not part of the proposed conversion scheme.

The buildings include a mixture of single and two-storey elements, are largely constructed of stone with brick detailing, and slate and pantile roof tiles, and exhibit interesting features such as arched openings, brickwork detailing and historic timberwork. Access into the site is from the west, with the buildings surrounded by open farmland to the north and west.

The buildings are located east of Roxby outside the settlement boundary. For planning purposes the site therefore falls within open countryside. Whilst their past use is noted as a horse yard, given the condition and lack of detail as to when this last use ceased, it is considered that any previous use has since been abandoned and that the site therefore has no current use class for planning purposes.

The site is located wholly within flood zone 1 and is therefore at the lowest risk of flooding from tidal and fluvial sources. There are no other known geo-environmental constraints which affect the site.

Proposal

Planning permission is sought for the conversion of the buildings to form seven dwellings. The detached farm building to the north of the main block would be converted into one large unit with four bedrooms and accommodation across two floors. Parking would be provided adjacent to the property, which would utilise the main shared access into the site.

The main block would be converted into six dwellings, providing a mix of two-, three- and four-bedroom homes. Each property would benefit from small enclosed courtyard garden areas, some of which would be inward-facing, with parking generally located around the periphery of the complex.

Material considerations

Planning permission is sought to convert the existing buildings at the site to provide seven dwellings, with a mix of two-, three- and four-bedroom properties proposed as part of the application. The site has no planning history, and there is no current use, with the previous use of the land as a horse yard considered to have been abandoned owing to its current condition and lack of use. The site is within open countryside and involves buildings which are identified as a non-designated heritage asset.

The main issues in the determination of this application are:

- **principle of development;**
- **design and impact on the character and appearance of the non-designated heritage assets;**
- **impact on residential amenity;**
- **impact on highways safety;**
- **flood risk and drainage;**
- **contaminated land; and**
- **ecology.**

Principle of development

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise. In this instance the development plan consists of the North Lincolnshire Local Plan (NLLP) which was adopted in May 2003, the North Lincolnshire Core Strategy (NLCS) which was adopted in June 2011 and the Housing and Employment Land Allocations (HELA) DPD which was adopted in March 2016. Material considerations exist in the form of national planning policy and guidance contained within the National Planning Policy Framework (NPPF) and the suite of documents comprising the Planning Practice Guidance (PPG).

The site is located within open countryside, whereby policies RD2 of the local plan and CS3 of the Core Strategy generally seek to restrict new development. Policy RD9 of the local plan relates specifically to the re-use or adaptation of buildings for residential use within open countryside, supporting such proposals only where the building is of architectural or historic importance to the rural scene and is of substantial and permanent construction capable of conversion without major alteration; it can be demonstrated that residential re-use or adaptation is the only way to retain a building in viable continued use and/or secure the retention/improvement of the building; and the development will not create a need for new buildings to house activities displaced by the conversion. It goes on to provide specific design criteria and requirements associated with the redevelopment of the site.

Policy CS7 of the Core Strategy sets out the requirement for 12,063 new homes across the plan area during the plan period up to 2026. This is equivalent to a build out rate of 754 dwellings per year. The policy indicates that 3,482 of these will be provided from sites with pre-existing permissions in place or are under construction at the time of adoption of the plan. These figures are a minimum target and do not form a maximum threshold for the delivery of housing, which would run contrary to the provisions of the NPPF which seeks to significantly boost the supply of housing.

Policy CS7 of the Core Strategy sets out an aspirational minimum density of 30–35 dwellings per hectare on sites within rural settlements. However, this policy also states that whilst housing developments should make efficient use of land, the density of new developments should be in keeping with the character of the area.

Notwithstanding the development plan policies set out above, the NPPF is a material consideration when determining planning applications. Paragraph 10 of the NPPF states, 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development.' Paragraph 11(d) of the NPPF states that housing applications should be considered in the context of the presumption in favour of sustainable development. Where the local planning authority cannot demonstrate a five-year supply of deliverable housing sites, relevant policies which were most important to determining the application should not be considered up to date.

Paragraph 80 of the NPPF indicates that decisions should avoid the development of isolated homes in the countryside unless one or more of a number of circumstances apply. These include where the development would re-use redundant or disused buildings and enhance its immediate setting.

In a recent appeal decision dated 20 July 2022 (PA/2020/554) the Inspector concluded that the council does not currently have a five-year housing land supply of deliverable sites. The council's Five-Year Housing Land Supply Position Statement is awaiting an update and as such any decisions made by the planning authority will take account of the presumption in favour of sustainable development as set out in paragraph 11 of the NPPF. The current local policies which are most important for determining the application will carry reduced weight during this period.

National Planning Practice Guidance paragraph 008 states that, in decision-taking, if an authority cannot demonstrate a five-year housing land supply, including any appropriate buffer, the presumption in favour of sustainable development will apply, as set out in paragraph 11d of the National Planning Policy Framework.

Given the current five-year land supply deficit, it is considered that there is a clear and demonstrable need for housing development in the area. Accordingly, the 'tilted balance' in paragraph 11 of the NPPF is triggered, whereby there is a presumption in favour of sustainable development and development proposals should be approved unless:

- (i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
- (ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

There are three dimensions to sustainable development as set out in paragraph 8 of the Framework: economic, social and environmental.

The proposals concern the conversion of existing buildings or architectural and historic interest. Whilst they are in need of repair, a structural survey submitted with the application indicates that they are capable of conversion and suitable for re-use.

Policy RD9 requires applicants to demonstrate that residential re-use or adaptation is the only way to retain the buildings in a viable continued use, and requires that redevelopment of the site would not create a need for new buildings to accommodate displaced activities. Whilst this element of the policy is inconsistent with the NPPF, and therefore attracts less weight, it is clear that the former use has been abandoned and given the location and significant investment needed to bring the buildings back into use, residential uses are the only likely way which the buildings can be saved.

The lack of a five-year supply of housing land and the scale of the shortfall limit the weight which can be attributed to these policies, however it is considered that the proposals are largely consistent with their requirements. In determining the sustainability of the proposed development, an assessment not only relies upon planning principle but also whether the application of policies in the NPPF that protect areas or assets of particular importance provides a clear reason for refusing the development proposed or if any adverse impacts exist that would significantly and demonstrably outweigh the benefits of the proposal.

Having regard to the above, whilst the site is located within open countryside, the principle of the development is considered to be acceptable in accordance with policy RD9 of the local plan. The weight which can be afforded to the policy is somewhat limited owing to the lack of five-year housing land supply, however paragraph 80 of the NPPF imposes less onerous requirements on the creation of isolated homes in the countryside, allowing for the re-use of buildings where it leads to the enhancement of their immediate setting.

The conversion of the buildings to provide seven dwellings would provide a small but nonetheless meaningful contribution towards addressing the shortfall in housing supply across North Lincolnshire. When assessed against local and national planning policies, it is considered that the principle of the development would be acceptable in accordance with policies RD2 and RD9 of the North Lincolnshire Local Plan, and CS1, CS2 and CS3 of the Core Strategy.

Design and impact on the character and form of the area

Core Strategy policy CS5 states, ‘...all new development in North Lincolnshire should be well designed and appropriate for their context. It should contribute to creating a sense of place. The council will encourage contemporary design, provided that it is appropriate for its location and is informed by its surrounding context. Design which is inappropriate to the local area or fails to maximise opportunities for improving the character and quality of the area will not be acceptable.’

Policy CS6 seeks to protect the historic environment within North Lincolnshire, including its heritage assets. It states that all new development must respect and enhance the local character and distinctiveness of the area in which it would be situated, particularly in areas with high heritage value.

The proposal involves the sensitive conversion, repair and refurbishment of the former farm buildings. The number of properties has been informed by the constraints presented by the arrangement of buildings at the site, their plan form and features of interest.

Noted as non-designated heritage assets, they possess a degree of architectural and historic interest which the proposals seek to capture and preserve, whilst incorporating new elements which are contemporary in their detail so as to distinguish old from new. Paragraph 203 of the NPPF makes clear that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. It states that in weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

In this instance, the proposed development would be considered to have a positive impact upon the significance of the former farm buildings. Their current condition requires improvement, with investment in the buildings safeguarding them into the future. The works

proposed would restore the building, replacing roof coverings and repairing historic fabric, whilst adapting them for alternative use. The level of intervention required is limited, and number of new openings reserved. The wider landscaping of the site and allocation of private garden areas would ensure the buildings remain discernible as former agricultural buildings, and as a result the overall significance would be preserved and enhanced through their conversion.

The impacts of the development, in heritage terms, are considered to be positive. These conclusions are reflected in comments made by the parish council, a view which officers consider attract some weight in favour of the proposal. Overall, the scheme is positively conceived and respects the character of these important buildings. The proposals are considered acceptable in respect of their design, and would preserve and enhance the significance of the non-designated heritage assets in accordance with the aims of policies CS5 and CS6 of the Core Strategy.

Impact on residential amenity

Policy DS1 is partly concerned with impacts upon residential amenity. It states, 'no unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing.'

Owing to the relationship with nearby residential receptors, the conversion of the building would not result in harmful impacts upon living conditions for existing residents. The site is remote from Roxby and intervening land uses are sparse, providing a tranquil setting for future residents.

The arrangement of properties within the site would result in a degree of intervisibility between dwellings. This is typical of developments of this nature, with separation distances dictated by the planform of existing buildings at the site. Owing to this, properties would have a closer physical relationship with one another which would give rise to a degree of overlooking, however occupants of the properties would naturally expect this from a development of this kind.

Overall, it is considered that the relationship between properties would not give rise to adverse impacts which would be sufficient to justify withholding planning permission, with substandard separation distances compensated for by generously proportioned units of accommodation, most of which have large areas of outdoor garden space.

Overall, the proposals are not considered to have any adverse impacts on the residential amenity of neighbouring properties. The development is considered acceptable in accordance with policy DS1 of the local plan in this respect.

Highway safety

Policy T1 of the North Lincolnshire Local Plan is concerned with the location of development and aligns with the spatial strategy of the Core Strategy. Policy T2 of the local plan states that all proposals should be provided with a satisfactory access. Policy T19 relates to car parking provision and standards, and in summary requires developments which result in additional parking needs to incorporate proposals to fully meet that demand. Policy CS25 of the Core Strategy is also relevant and seeks to support and promote a sustainable transport system in North Lincolnshire that offers a choice of transport modes

and reduces the need to travel through spatial planning and design and by utilising a range of demand and network management tools.

The council's highways department has been consulted and does not object to the proposed development subject to a number of conditions. Concerns have been raised by the parish council in respect of reducing the speed limit within the vicinity of the site. The applicants have provided additional information in the form of an automated traffic count survey, which indicates that vehicles in the area generally travel well below the posted speed limit. A change to the speed limit within the area is therefore not considered to be necessary, and the imposition of planning conditions or a request to enter into a legal agreement would fail to meet the tests of reasonableness.

On the basis of the information provided in support of the application, the proposed development would be likely to introduce a minimal number of vehicular movements on a section of road where existing road users travel well below the posted speed limit. On this basis there are no concerns in respect of highway safety, and no objections from the highway authority. Subject to conditions, the proposed development is acceptable in accordance with policies T1, T2 and T19 of the local plan and CS25 of the Core Strategy, and would not result in severe impacts for road safety.

Flood risk and drainage

Policies DS16 of the North Lincolnshire Local Plan, CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 166 and 167 of the NPPF are considered relevant in respect of flood risk and drainage.

Policy CS19 (which sits alongside DS16 of the local plan) is concerned with flood risk and states that the council will support development proposals that avoid areas of current or future flood risk, and which do not increase the risk of flooding elsewhere. This will involve a risk-based sequential approach to determine the suitability of land for development that uses the principle of locating development, where possible, on land that has a lower flood risk, and relates land use to its vulnerability to flood.

The site is within flood zone 1 as identified by the Environment Agency's flood maps for planning. The proposal is for 'more vulnerable' development; however, given the proposals are within flood zone 1, no sequential test is required. Therefore, the proposals are acceptable in respect of flood risk.

The applicant intends to use mains drainage for the disposal of foul water from the site, and indicates the use of sustainable drainage systems for the disposal of surface water. The LLFA have assessed the application and whilst they indicate that insufficient information has been provided to date, they are satisfied that appropriately worded conditions can be imposed to secure precise details and a scheme for the disposal of surface water. Given the site is within flood zone 1 and is not identified as having critical drainage issues, securing further details by condition is proportionate and appropriate in the context of policies DS16 of the local plan and CS19 of the Core Strategy. Subject to accordance with such conditions, the proposal is considered to comply with the aims of the development plan.

Contaminated land

Policy DS7 of the North Lincolnshire Local Plan is concerned with contaminated land. It states that permission will only be granted on contaminated sites where a detailed site

survey has been submitted, and a suitable scheme of remedial measures has been agreed to overcome any existing contamination.

Paragraph 178 of the NPPF states that planning decisions should ensure that a site is suitable for its proposed use taking account of ground conditions and any risks arising from land instability and contamination.

Comments have been sought from the Environmental Protection team, who have raised no objections subject to a number of standard conditions. The site is former agricultural land and with that there is a risk of potential contamination on site associated with properties past use. More recent uses for equestrian purposes may also carry similar possible risks. Whilst this may be the case, there is little reason to suspect that land contamination will pose a risk to new development and accordingly suitably worded conditions would ensure that potential contamination sources are investigated and mitigated where necessary.

Subject to accordance with such a condition, the proposed development would be acceptable in accordance with policy DS7 of the local plan.

Ecology

The application has been supported by an ecological survey which has been assessed by the council's ecologist. The results of the survey efforts reveal that protected species of wildlife are present at the site, with evidence of bat roosts found and five species of bat being recorded as active in the area. Birds' nests and barn swallow nests were recorded at the site, indicating that the site is of biodiversity value.

The development is therefore likely to impact protected species of wildlife and will result in the loss of nesting sites for barn swallows. Mitigation measures are set out within accompanying survey work; however, these are considered to fall short of the level required to compensate for the loss of up to 15 swallow nests. Notwithstanding this, in this instance, suitably worded conditions can be imposed to secure appropriate mitigation for the impacts of the development on protected species. Subject to accordance with those conditions, the proposed development would be acceptable in accordance with policies LC5 of the local plan and CS17 of the Core Strategy.

Policy CS17 of the Core Strategy seeks to secure biodiversity net gain. This is consistent with paragraph 174 of the NPPF, which seeks to minimise impacts on and provide net gains for biodiversity.

Concerns have been expressed in relation to the classification of certain components of the proposed landscaping strategy for the site, and details of the biodiversity metric have been requested by the council's ecologist. The information has been provided by the applicant, which demonstrates that biodiversity net gain can be achieved through the development. Conditions have been recommended by the ecologist to secure a species protection plan, biodiversity management plan for the longer-term management of biodiversity enhancement and mitigation features. Subject to accordance with such conditions, it is concluded that the development of the site would not impact upon protected species of wildlife in accordance with policy LC5 of the local plan.

Conclusion

Planning permission is sought for the sensitive conversion of non-designated heritage assets, which would retain buildings of architectural and historic interest and put them to

viable use. The principle of the development is considered to be acceptable, and there are not considered to be any technical constraints which would justify withholding planning permission.

The council is unable to demonstrate a five-year supply of deliverable housing sites. The policies which are most important for determining the application should therefore be regarded as being out of date, and a presumption in favour of sustainable development should be applied in accordance with paragraph 11 of the NPPF. Notwithstanding this, subject to conditions the proposals would be largely compliant with relevant policies within the development plan.

The proposals are therefore considered to be acceptable and it is recommended that planning permission be granted subject to conditions.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

- 22 41 666 OS Plan
- 22 41 1230 B Proposed Site Plan
- 22 41 500 Existing & Proposed Roof Plans
- 22 41 1201 Proposed Plans – Buildings 1-6 Ground Floor Plans
- 22 41 1202 Proposed Plans – Buildings 1-6 First Floor Plans
- 22 41 1251 Proposed Elevations Buildings 1-6
- 22 41 1203 Proposed Ground & First Floor Plans Buildings 7 & 8 (to Rear of Site).

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No development shall take place until a detailed surface water drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall be based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development. This must be based upon the submitted Outline Drainage Strategy, prepared by Roy Lobley, Issue No. 01 Dated: 04/10/2022. Ref: RLC/1059/OSDS01.

The drainage scheme shall demonstrate that surface water run-off generated up to and including the 1 in 100-year critical storm (including an allowance for climate change which should be based on current national guidance) will not exceed the run-off from the existing site. It shall also include details of how the resulting completed scheme is to be maintained and managed for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to

secure the operation of the scheme throughout its lifetime so that flood risk, both on and off the site, is not increased. SuDS must be fully considered in accordance with current PPG guidance.

Thereafter, the development shall be constructed in accordance with the approved details prior to occupation of the dwellings hereby permitted.

Reason

To prevent the increased risk of flooding, to improve and protect water quality, and to ensure the implementation and future maintenance of the SuDS scheme in accordance with policies CS18 and CS19 of the Core Strategy.

4.

No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway, and from the highway onto the developed site, have first been submitted to and approved in writing by the local planning authority. Thereafter, surface water drainage shall be provided in accordance with the approved scheme prior to the parking areas being constructed and brought into use.

Reason

To prevent the increased risk of flooding, to improve and protect water quality, and to ensure the implementation and future maintenance of the SuDS scheme in accordance with policies CS18 and CS19 of the Core Strategy.

5.

The existing vehicular access to the site shall be improved within highway limits in accordance with details to be submitted to and approved in writing by the local planning authority prior to first occupation of the dwellings hereby approved.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

6.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken to the satisfaction of the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

7.

Nothing shall at any time, whether permitted by the Town and Country Planning (General Permitted Development) Order or not, be erected, retained, planted or allowed to grow over 1.05 metres in height above the level of the adjoining carriageway within the agreed visibility splay of the access.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

8.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking spaces serving it have been completed and, once provided, the vehicle parking spaces shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

9.

No dwelling served by the private driveway shall be occupied until it has been constructed in accordance with details including:

- (i) the proposed method of forming access from the highway, including the required visibility splays;
- (ii) the method of constructing/paving the drive;
- (iii) the provision of adequate drainage features;
- (iv) the provision of suitable bin collection facilities adjacent to the highway;
- (v) the provision of suitable lighting arrangements; and
- (vi) the provision of street name plates that shall include the words 'Private Drive';

which have been agreed in writing by the local planning authority. Once constructed the private driveway shall be retained.

Reason

To ensure the provision/retention of adequate parking commensurate with the nature of the proposed development and to comply with policy T3 of the North Lincolnshire Local Plan.

10.

Works shall not commence on site until wheel cleaning facilities, in accordance with details to be approved in writing by the local planning authority, have been provided within the curtilage of the site and this facility shall be retained for the duration of the works.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

11.

No development shall begin until details of:

- (i) the layout, drainage, construction, services and lighting of the proposed access road, including the junction with the adjacent highway; and

- (ii) the number and location of vehicle parking space(s) on the site;

have been submitted to and approved in writing by the local planning authority. Thereafter, development shall be constructed in accordance with the approved details.

Reason

In the interests of highway safety and to comply with policy T2 and T19 of the North Lincolnshire Local Plan.

12.

No dwelling on the site shall be occupied until the access road has been completed to at least base course level and adequately lit from the junction with the adjacent highway up to the access to the dwelling.

Reason

In the interests of highway safety and to comply with policy T2 and T19 of the North Lincolnshire Local Plan.

13.

No other works shall be commenced on the site until the access road junction with the adjacent highway, including the required visibility splays, has been set out and established.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

14.

The penultimate dwelling on site shall not be occupied until the access roads have been completed.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

15.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of an archaeological mitigation strategy, to be defined in a written scheme of investigation that has been submitted to and approved in writing by the local planning authority. The strategy shall accord with a brief provided by North Lincolnshire Historic Environment Record and shall include details of the following:

- (i) measures to ensure the preservation by record of archaeological features within the footprint of the development
- (ii) methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts
- (iii) post-fieldwork methodologies for assessment and analyses
- (iv) report content and arrangements for dissemination, and publication proposals

- (v) archive preparation and deposition with recognised repositories, including the ADS
- (vi) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (vii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record, of the commencement of archaeological works and the opportunity to monitor such works
- (viii) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

Reason

To comply with paragraph 205 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding.

16.

The applicant shall notify the local planning authority in writing of the intention to commence the archaeological site works at least seven days before commencement. Thereafter, the archaeological mitigation strategy shall be carried out in accordance with the approved details and timings. No variation shall take place without the prior written consent of the local planning authority.

Reason

To comply with paragraph 205 of the NPPF, policy CS6 of the Core Strategy, saved policy HE9 of the North Lincolnshire Local Plan.

17.

The dwellings shall not be occupied until any post-investigation assessment has been commissioned in accordance with the programme set out in the approved written scheme of investigation, and provision made for analysis, publication and dissemination of results and archive deposition has been secured.

Reason

To comply with paragraph 205 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

18.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record within six months of commencement of the archaeological programme of work or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with paragraph 205 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

19.

No development shall take place until samples of the external facing materials to be used have been submitted to and approved in writing by the local planning authority and only the approved materials shall be used.

Reason

To ensure the satisfactory appearance of the development upon completion of the works, in accordance with policy DS1 of the North Lincolnshire Local Plan.

20.

No development shall take place until detailed drawings of the proposed windows and openings have been submitted to and approved in writing by the local planning authority.

Reason

To comply with policy HE9 of the North Lincolnshire Local Plan as the farm buildings are a heritage asset of local significance.

21.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure land contamination does not pose a risk to future occupants of the development, in accordance with policy DS11 of the North Lincolnshire Local Plan.

22.

No development shall take place until a species protection plan has been submitted to and approved in writing by the local planning authority. The plan shall include:

- (a) details of measures to avoid harm to bats and nesting birds during demolition, vegetation clearance and construction works;
- (b) prescriptions for the eradication of invasive non-native species, including Himalayan (Indian) balsam.

Reason

To conserve biodiversity in accordance with policies LC5 of the North Lincolnshire Local Plan and CS17 of the Core Strategy.

23.

Within three months of the commencement of development, the applicant or their successor in title shall submit a biodiversity management plan for approval by the local planning authority. The plan shall cover a period of 30 years from the commencement of development and shall include:

- (a) details of at least two bat bricks designed for pipistrelle bats, and two bat bricks of a different design optimised for Natterer's bats, to be installed in the converted buildings;
- (b) details of nesting sites to be installed to support house sparrows and common garden birds;
- (c) details of a barn swallow nesting structure to be installed, providing at least nine barn swallow nesting cups;
- (d) restrictions on lighting to avoid impacts on bat roosts, bat foraging areas, bird nesting sites and sensitive habitats;
- (e) provision for hedgehogs to pass through any fencing installed between gardens and between areas of grassland;
- (f) prescriptions for the planting and aftercare of native trees and shrubs of high biodiversity value;
- (g) prescriptions for grassland sward enhancement and ongoing management to create species-rich lowland meadow;
- (h) evidence that the measures proposed will provide at least 1% biodiversity net gain in accordance with the biodiversity metric 3.1, when compared to the baseline;
- (i) proposed timings for the above works in relation to the completion of the buildings.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the Core Strategy.

24.

The biodiversity management plan and species protection plan shall be carried out in accordance with the approved details and timings, and the approved features shall be retained thereafter, unless otherwise approved in writing by the local planning authority. Prior to the occupation of the sixth dwelling, the applicant or their successor in title shall submit a report to the local planning authority, providing evidence of compliance with the biodiversity management plan.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the Core Strategy.

Informatives

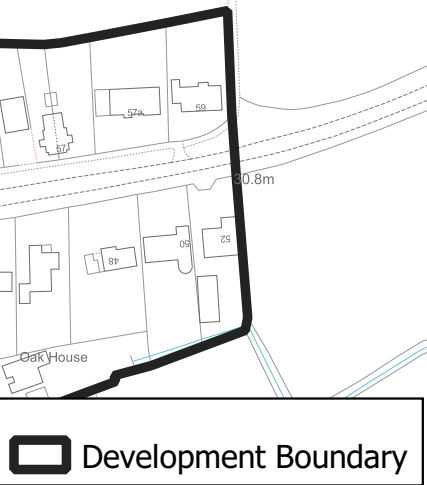
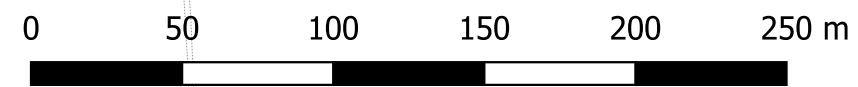
1.

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- (i) before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued; and
- (ii) before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

2.

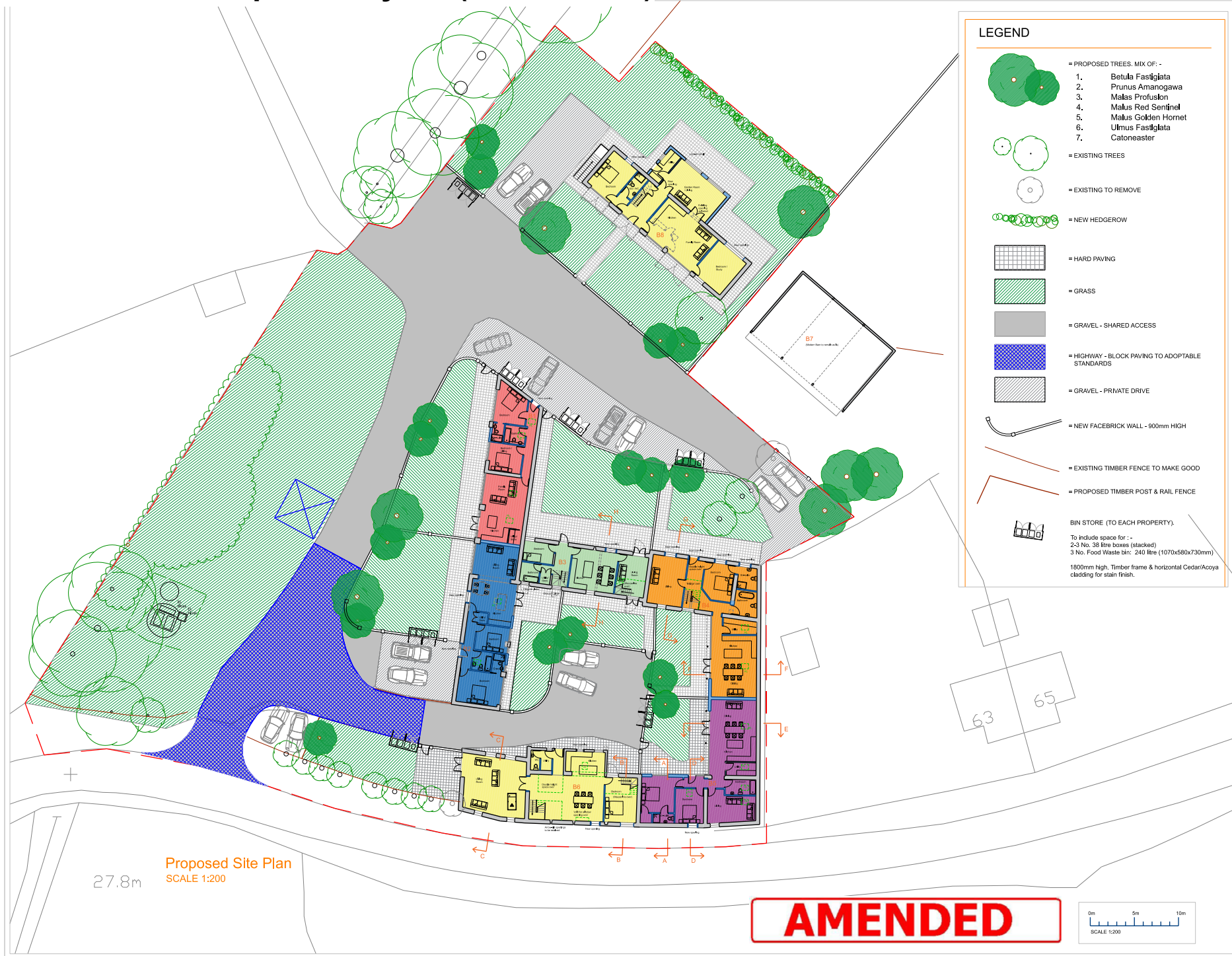
In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



**North
Lincolnshire
Council**

PA/2022/1829

PA/2022/1829 Proposed layout (not to scale)



LEGEND

- = PROPOSED TREES. MIX OF: -
 1. Betula Fastigata
 2. Prunus Amanogawa
 3. Malus Profuslon
 4. Malus Red Sentinel
 5. Malus Golden Hornet
 6. Ulmus Fastigata
 7. Catoneaster
- = EXISTING TREES
- = EXISTING TO REMOVE
- = NEW HEDGEROW
- = HARD PAVING
- = GRASS
- = GRAVEL - SHARED ACCESS
- = HIGHWAY - BLOCK PAVING TO ADOPTABLE STANDARDS
- = GRAVEL - PRIVATE DRIVE
- = NEW FACEBRICK WALL - 900mm HIGH
- = EXISTING TIMBER FENCE TO MAKE GOOD
- = PROPOSED TIMBER POST & RAIL FENCE
- BIN STORE (TO EACH PROPERTY).
To include space for :-
2-3 No. 38 litre boxes (stacked)
3 No. Food Waste bin: 240 litre (1070x580x730mm)
1800mm high. Timber frame & horizontal Cedar/Accoya cladding for stain finish.

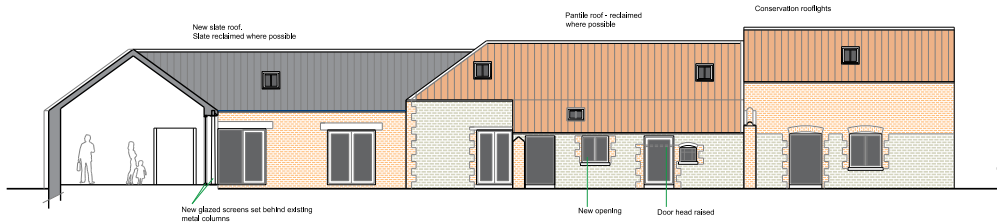
27.8m Proposed Site Plan
SCALE 1:200

AMENDED

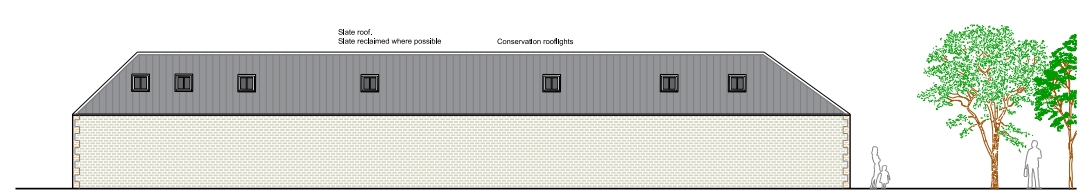


General Notes		
NOTES: -		
This drawing must NOT be scaled.		
Work shall not commence until building regulation approvals have been obtained in full. Planning permission is not required		
All dimensions and levels to be checked on site by contractor and any discrepancies to be reported to the architect and client prior to commencement of work on site.		
This drawing is for building control purposes only. Detail design and specification shall be the sole responsibility of the contractor.		
All drains & services to be located by contractor.		
The Contractor is to allow for those items of work which are not specifically identified in the Contract Documents but which it is reasonable to expect an experienced contractor to identify from them as being necessary (such as but without prejudice to the foregoing - screws, roggins and support etc).		
Amendments		
Rev	Amendment	Date
B	Adopted road & bin detail added	14.11.22
A	Hedge added to northern boundary	26.09.22
ETTRIDGE ARCHITECTURE LTD		
52-54 PRESTONGATE HESSLE EAST RIDING OF YORKSHIRE HU13 0RE		
Project: Roxby Grange North Street Roxby		
Client: DDM		
Drawing Title: Proposed Site Plan		
Compass:		Phase: PLANNING
Drawn by: CN	Checked by: DE	
Drawing No: 22 41 1230 B	Scale: 1:200 @ A1	Date: August 2022

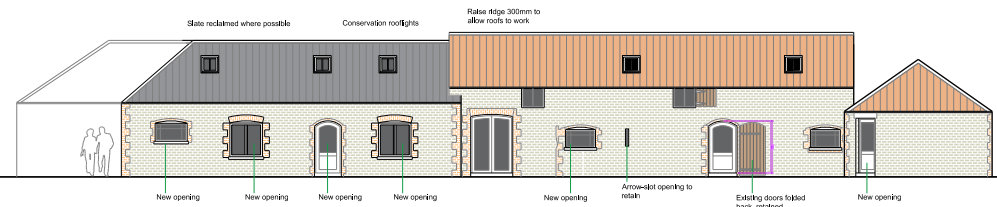
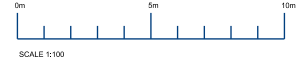
PA/2022/1829 Proposed elevations (buildings 1-6) (not to scale)



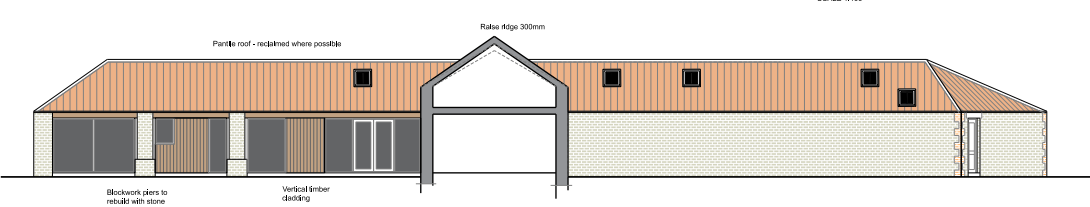
B5 Section (E-E) & Elevation + B6 North Elevation
SCALE 1:100



B4 & B5 East Elevation
SCALE 1:100



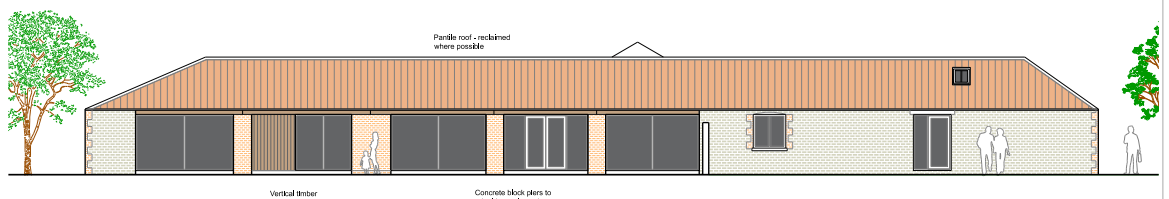
B1, B3 & B4 North Elevation
SCALE 1:100



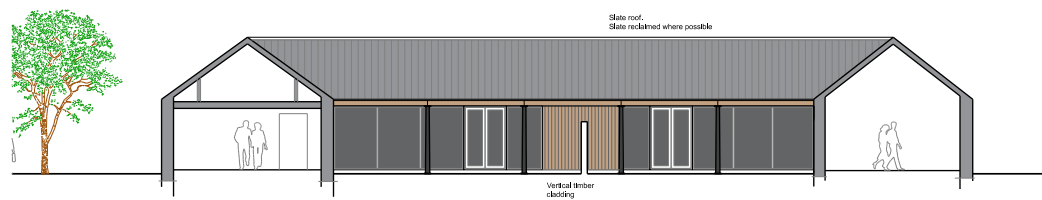
B1 & B2 East Elevation + B3 Section (H-H)
SCALE 1:100



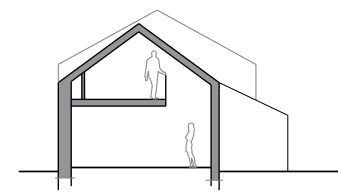
B2, B3, B4 South Elevation + B4 Section (F-F)
SCALE 1:100



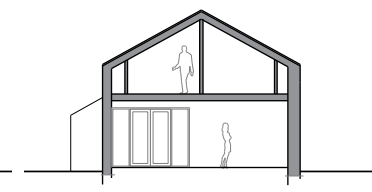
B1 & B2 West Elevation
SCALE 1:100



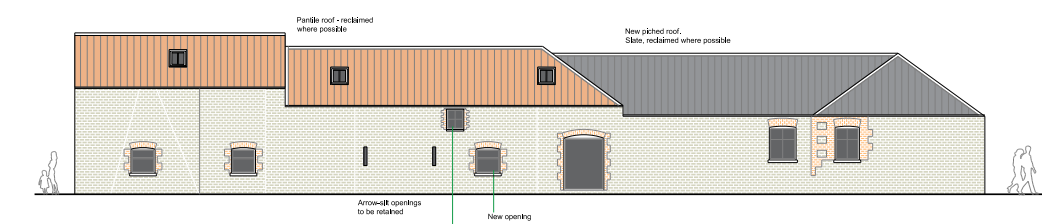
B4 West Elevation & Section (G-G) / B5 West Elevation & Section (D-D)
SCALE 1:100



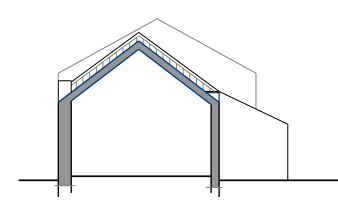
B6 Section B-B
SCALE 1:100



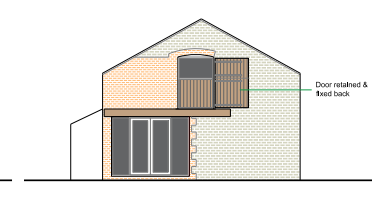
B6 Section C-C
SCALE 1:100



B5 & B6 South Elevation (From North Street)
SCALE 1:100



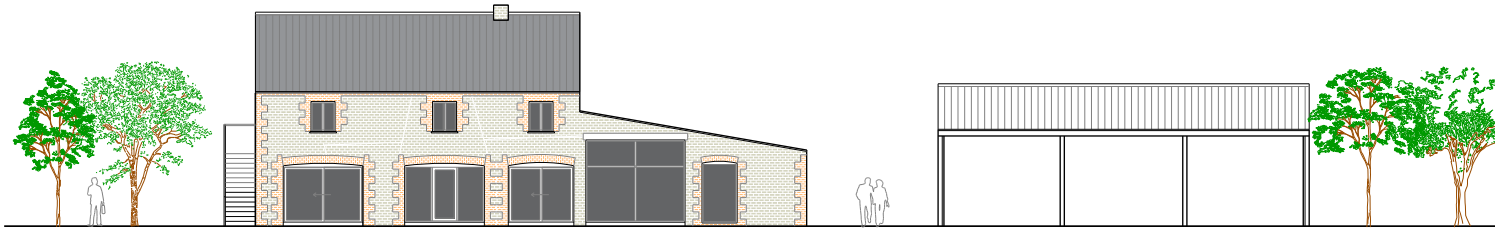
B5 Section A-A
SCALE 1:100



B6 West Elevation
SCALE 1:100

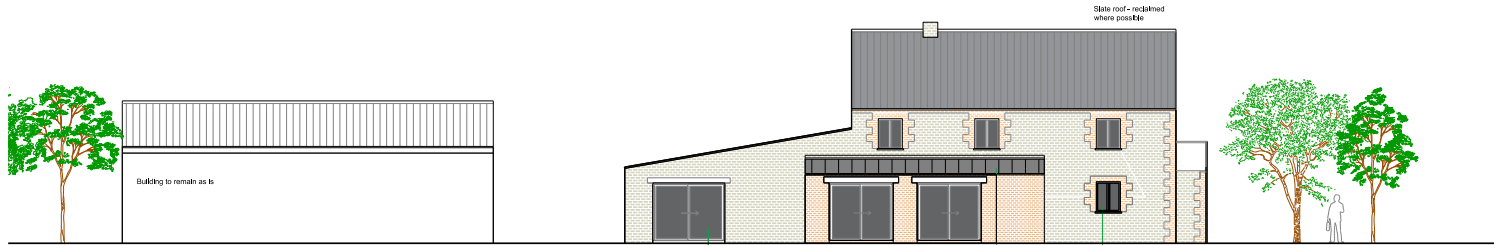
Rev	Amendment	Date
ETTRIDGE ARCHITECTURE LTD		
52-54 PRESTONGATE HESLE EAST RIDING OF YORKSHIRE HU13 0RE		
		www.ettridge.net
Project: Roxby Grange North Street Roxby		
Client: DDM		
Drawing Title: Proposed Elevations Buildings 1 - 6		
Compass:		Phase: PLANNING
Drawn by: CN	Checked by: DE	
Drawing No: 22 41 1251	Scale: 1:100 @ A1	
	Date: August 2022	

PA/2022/1829 Proposed elevations (buildings 7 & 8) (not to scale)



B8 & B7 South-West Elevation
SCALE 1:100

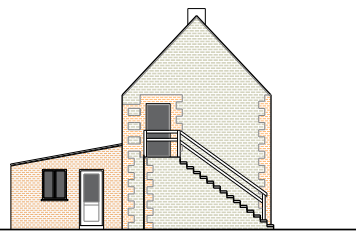
Timber doors and windows for glass or stone finish



B8 & B7 North-East Elevation
SCALE 1:100

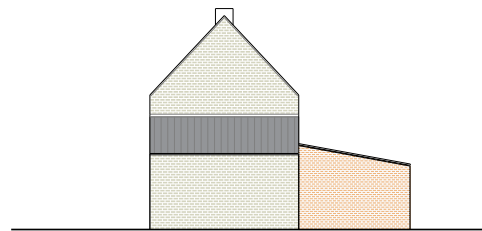
Slate roof - retained where possible

New opening Lean-to rebuilt Zinc roof (for low pitch) New opening



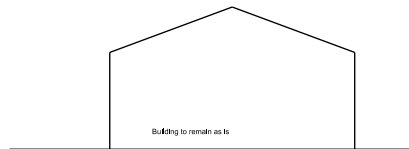
B8 North-West Elevation
SCALE 1:100

Lean-to rebuilt



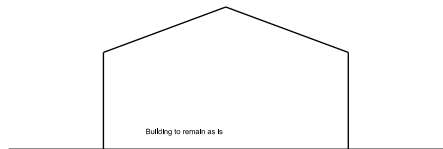
B8 South-East Elevation
SCALE 1:100

Lean-to rebuilt



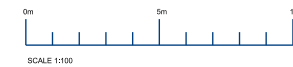
B7 North-West Elevation
SCALE 1:100

Building to remain as is



B7 South-East Elevation
SCALE 1:100

Building to remain as is



General Notes

NOTES: -

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This drawing is for building control purposes only. Detail design and specification shall be the sole responsibility of the contractor.

All drains & services to be located by contractor.

The Contractor is to allow for those items of work which are not specifically identified in the Contract Documents but which it is reasonable to expect an experienced contractor to identify from them as being necessary (such as but without prejudice to the foregoing - screws, noggin and support etc).

Amendments

Rev	Amendment	Date

ETTRIDGE ARCHITECTURE LTD

52-54 PRESTONGATE
HESSLE
EAST RIDING OF YORKSHIRE
HU13 0RE

www.ettridge.net

Project:
Roxby Grange
North Street
Roxby

Client:

DDM

Drawing Title:

Proposed Elevations
Buildings 7 & 8

Compass: Phase:
PLANNING

Drawn by: CN Checked by: DE

Drawing No: 22 41 1252 Scale: 1:100 @ A1

Date: August 2022