

APPLICATION NO	PA/2023/1006
APPLICANT	Mr and Mrs Wilson Kannampuzha John
DEVELOPMENT	Proposed single and two-storey rear, side extension, front canopy, car port, dropped kerb and new boundary wall
LOCATION	19, Cheltenham Close, Bottesford, DN16 3SJ
PARISH	Bottesford
WARD	Bottesford
CASE OFFICER	Daniel Puttick
SUMMARY RECOMMENDATION	Approve with conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Bottesford Town Council

POLICIES

National Planning Policy Framework:

Section 12: Achieving Well-designed Places

North Lincolnshire Local Plan:

Policy DS1: General Requirements

Policy DS5: Residential Extensions

North Lincolnshire Core Strategy:

Policy CS1: Spatial Strategy for North Lincolnshire

Policy CS2: Delivering More Sustainable Development

Policy CS3: Development Limits

Policy CS5: Delivering Quality Design in North Lincolnshire

Supplementary Planning Guidance SPG1: Design Guidance for House Extensions

New North Lincolnshire Local Plan Submission: The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until later in 2023.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

Policy SS1: Presumption in Favour of Sustainable Development

Policy SS3: Development Principles

Policy SS11: Development Limits

Policy DM1: General Requirements

CONSULTATIONS

Highways: No objection or comments.

LLFA Drainage: No objection or comments.

TOWN COUNCIL

Objects to the proposals, making the following comments:

Two Bottesford town councillors have visited the site. The application is to add an extra 3m to the rear of the property (measured from the drawing at first-floor level and 4m at ground-floor level for the whole width of the property and also of the proposed side extension). Lesley Liddle (author) and Councillor Mathieson feel that this proposed extension will have a negative impact on the properties behind the applicant's property. With a potential loss of privacy as the first-floor windows will become 3m closer to the rear boundary, we would class the proposed extension as overbearing.

PUBLICITY

A site notice has been displayed. Two letters of objection have been received from members of the public. The following is a summary of the material considerations raised:

- The proposed development is too large in its mass and scale. The property is within a dense residential area and the extensions will be overbearing on the rest of the properties on the street. The design is not sympathetic to the area.
- The proposals will overshadow neighbouring properties and first-floor windows will overlook neighbouring gardens and buildings.
- The proposals will lead to overlooking and loss of privacy for occupants of properties on Timberland to the south.

ASSESSMENT

This application was deferred at a previous meeting of the planning committee to allow members to visit the site before making a decision.

Planning history

7/1976/0651: Erection of 14 detached houses and garages – approved 19/08/1976

7/1978/0442: Erection of a porch – approved 16/06/1978

PA/2005/0349: Erection of a conservatory – approved 06/04/2005.

Site description and proposal

The application site comprises an existing detached dwelling located in Cheltenham Close, a small enclave of residential dwellings comprising of a mix of bungalows and two-storey properties. The application site is on the eastern portion of the street, south of the access road and positioned adjacent to a pedestrian walkway leading southward to Timberland.

The property is at the end of the row of houses occupying the southern portion of Cheltenham Close. It sits on an irregular plot, with gardens to the front and rear and access to a detached garage taken from the turning head within the street.

Accommodation within the house comprises an entrance hallway with large lounge, living room, extended kitchen and conservatory at ground-floor level. Four bedrooms and a shared bathroom are located at first-floor level.

The application proposes a single-storey side extension to provide a car port with roof cover extending across the principal elevation to provide shelter above the entrance doorway. A new extension is proposed to the rear to accommodate an enlarged open-plan kitchen and dining area. The existing kitchen would be repurposed to provide a study and downstairs shower room, with minor internal alterations to provide a hallway from the entrance lobby through to the kitchen. At first floor, the two bedrooms to the rear are proposed to be enlarged and incorporate en-suites, extending approximately 2.6m from the rear elevation of the existing dwelling, set back from the eaves of the ground floor addition below.

Materials proposed would match those of the existing dwelling, the plans indicating the use of obscure glazing for windows overlooking neighbouring buildings. The design would incorporate pitched and flat roof elements, with the portion of the two-storey extension projecting beyond the existing gable wall (side) having a flat roof.

The main issues in determining this application are:

- **impact upon the character and appearance of the area; and**
- **impact upon residential amenity.**

Impact upon the character and appearance of the area

Policy DS5 of the North Lincolnshire Local Plan is concerned with residential extensions. It states that planning applications for residential extensions and the erection of garages, outbuildings, walls, and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, overbearing impact or loss of privacy to adjacent dwellings. It states that the proposals should also be sympathetic in design, scale and materials to the existing dwelling and its neighbours.

Policy CS5 of the Core Strategy states that all development should be well designed and appropriate for their context. It expects development to contribute towards creating a positive and strong identity for North Lincolnshire by enhancing and promoting the image of the area through the creation of high-quality townscapes and streetscapes.

The application site is in an area which is predominantly residential in nature. The cul-de-sac comprises detached properties of modern construction, on generously proportioned plots with a regular layout and arrangement to the street. Cheltenham Close features a mixture of bungalows and two-storey properties, many of which have undergone alteration and

extension since their construction. The street scene possesses a coherent palette of materials but exhibits variety through the different styles of houses and level of changes imposed upon them over time. Some of the estate's original features, such as portico door surrounds and bay windows, have been retained, whilst other properties, including the application site, have seen such features removed.

The proposed development seeks the construction of a wrap-around extension at ground-floor level to provide a car port with canopy above the entrance doorway, and two-storey rear extensions to provide additional ground and first-floor accommodation. Some concerns have been raised in respect of the design of the proposed extension, with one comment suggesting that the proposals are not sympathetic to the area.

As set out above, the street scene is varied, and a number of properties have undergone alteration through the introduction of front and rear extensions. These have effected change upon the character and appearance of the area, with the once cohesive design of properties now diluted. The positive characteristics of the estate are reflected in the palette of materials and similar styles of original properties, and whilst many have been subject to alteration over time, extensions to properties have ensured that the original dwelling is discernible.

The alterations and extensions proposed as part of this application would appear subordinate in scale and appearance to the existing dwelling. The main body of the house would remain the focus within the site, with extensions set back from the principal elevation and set down from eaves and ridge level where visible. At the rear, the ground floor extension is modest in size and the first-floor addition above is set well back from its edge. The change in roof slopes combined with these factors helps to minimise the mass of the extensions, ensuring they do not appear as bulky or obtrusive additions to the property. The use of matching materials would help ensure the proposals blend in with the street scene, helping it to assimilate with the existing building.

The introduction of the car port would introduce a new element to the property. Whilst this isn't a common feature within the street, there are a small number of similar structures, all of which are viewed in context with the application site. The design is similar to those found on properties within the street and would therefore not appear out of keeping or unsympathetic to its surroundings. For similar reasons, the changes to boundary treatments would not result in any adverse impacts upon the character or appearance of the area and draw inspiration from boundary treatments found elsewhere in the street.

The proposed development is considered acceptable in terms of its design. The alterations and extensions presented as part of the application are considered to be sympathetic to the host property and in keeping with the pattern of existing development in Cheltenham Close, and similar to a number of alterations and extensions introduced to properties elsewhere within the street. The application is considered to be in accordance with policies DS1 and DS5 of the North Lincolnshire Local Plan, and policies CS5 and CS6 of the Core Strategy.

Impact upon residential amenity

Policy DS5 of the North Lincolnshire Local Plan states that planning applications for residential extensions and the erection of garages, outbuildings, walls and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, overbearing impact or loss of privacy to adjacent dwellings.

Concerns have been expressed about overdevelopment of the site and resultant impact upon the amenity of neighbouring residents in terms of loss of sunlight, overshadowing and loss of privacy. Specific concerns are raised by the town council about impact on neighbouring properties to the south, due to a perceived overbearing impact and potential loss of privacy.

The separation distance between the rear elevations of original properties in Cheltenham Close and Timberland is generally between 23m and 25m. Distances between dwellings in both streets have been reduced over time, primarily by the introduction of single-storey extensions at ground-floor level. Whilst there are no standards contained within supplementary planning guidance for household extensions, the separation distances at the site are generous. The introduction of the first-floor element would see this distance reduced by 2.6m, a distance which would not be considered to result in significant adverse impacts for occupants of neighbouring properties in terms of privacy.

Owing to the scale of the extension, its design and setback from the neighbouring properties to the south, the extensions would not appear overbearing. Whilst concerns have been raised by members of the public, the proposals are not of a scale which would result in any loss of outlook, and the changes would not appear unduly oppressive to such a degree that the standards of living afforded to occupants of nearby buildings would be materially harmed.

The extensions are modest in scale and would retain a generously sized garden to the rear. For reasons set out previously, the proposed extensions would not appear as an overdevelopment of the site and would therefore not be harmful to the living conditions of neighbouring residents to a degree which would justify withholding planning permission.

There already exists a degree of intervisibility between neighbouring properties and overlooking of adjacent gardens throughout the street. The proposed extensions would not be considered to exacerbate any existing issues associated with overlooking or loss of privacy, nor would they be considered to have significant adverse effects. New windows located in side elevations are proposed to serve bathrooms rather than habitable rooms, and in the interests of privacy for occupants of the dwelling and to prevent overlooking of neighbouring properties it is recommended that a condition be imposed to ensure they are obscurely glazed. Any new windows inserted into the extension at a later date would be required to be obscurely glazed in order to constitute permitted development. Any further conditions restricting the addition of new openings is therefore not considered necessary.

For these reasons, subject to accordance with a condition to secure obscure glazing to new windows in side elevations of the extended property, the proposals would not result in any harm to the amenity of local residents. The proposals are considered acceptable in this respect in accordance with policy DS5 of the local plan.

Conclusion

The proposals are considered to be sympathetic in their design and would utilise a palette of materials consistent with the appearance of the existing property and wider street. The proposals are subordinate in scale and have been designed to ensure that they are in keeping with their surrounding context. The design is considered to be acceptable in accordance with policies DS1 and DS5 of the North Lincolnshire Local Plan, and CS5 of the Core Strategy.

It is therefore recommended that planning permission be granted subject to standard conditions, and a further condition to secure obscure glazing to new windows in the side elevation.

RECOMMENDATION **Grant permission subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

Location Plan

PP/23/0690-03

PP/23/0690-05

PP/23/0690-07

PP/23/0690-08.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

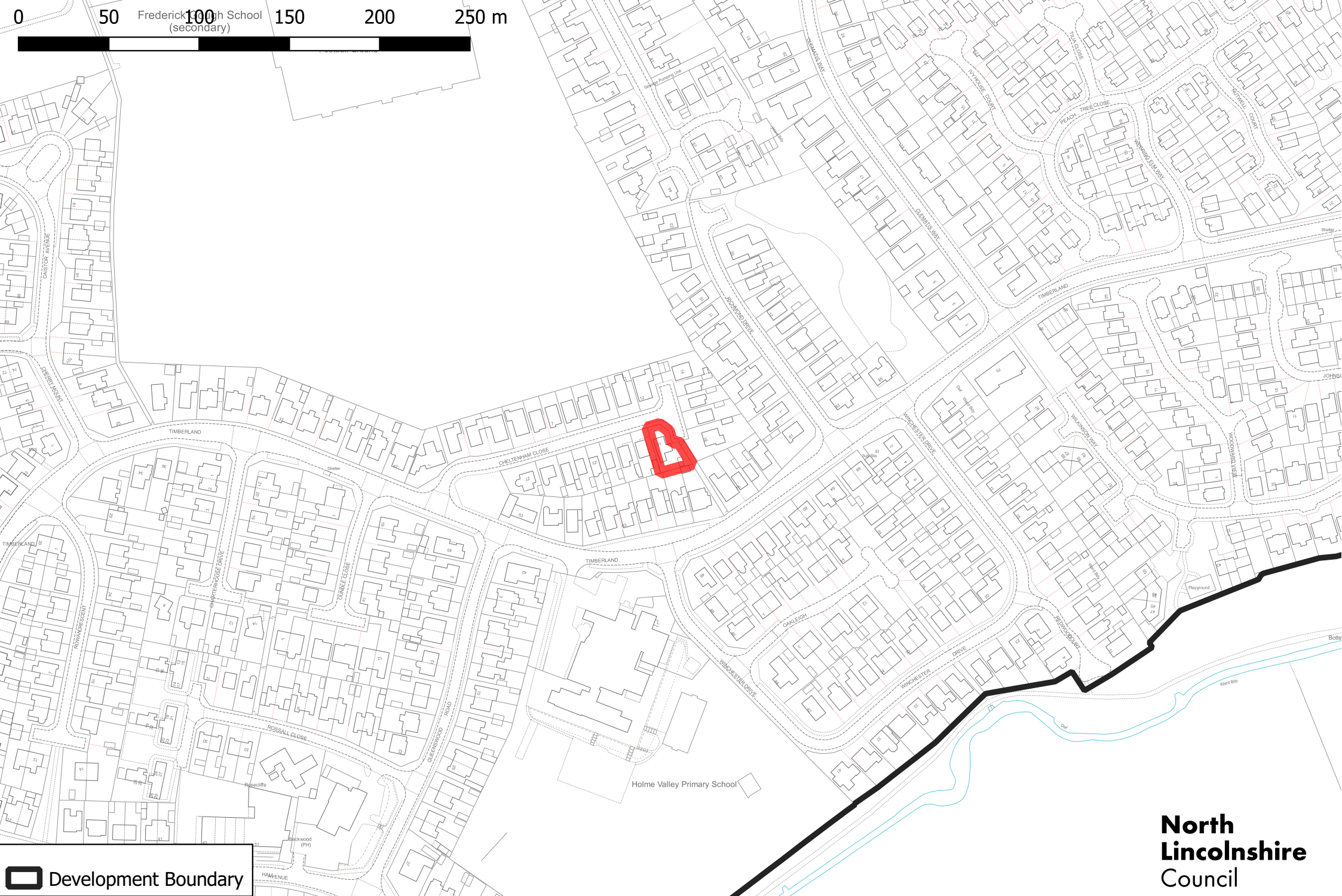
Notwithstanding the details contained within the application, new windows on the side elevation of the extensions hereby permitted shall be obscurely glazed to a minimum of Level 4 on the Pilkington scale (or equivalent) and shall be retained as such in perpetuity.

Reason

To ensure the privacy of occupants of the dwelling and of neighbouring buildings, in accordance with policy DS5 of the North Lincolnshire Local Plan.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

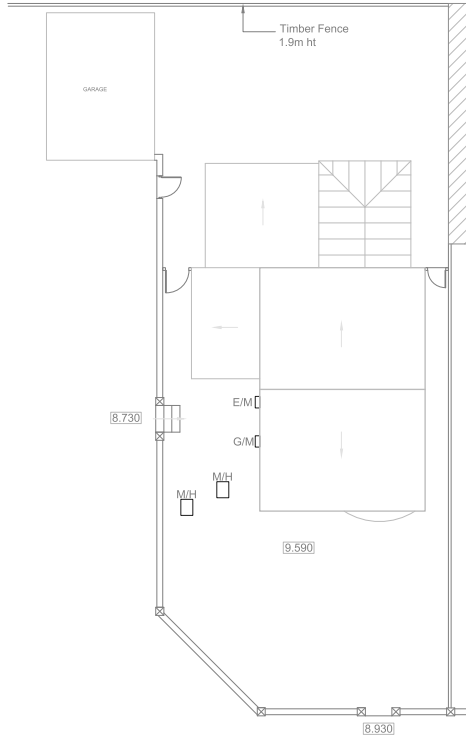


 Development Boundary

PA/2023/1006

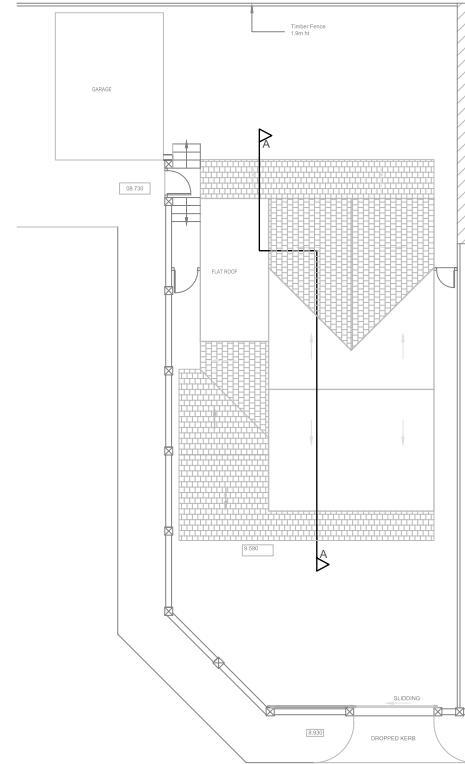
**North
Lincolnshire
Council**

PA/2023/1006 Existing and proposed layout (not to scale)



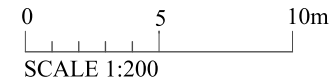
EXISTING BLOCK PLAN

Scale 1:200



PROPOSED BLOCK PLAN

Scale 1:200



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 5. ALL NEW PROPOSED MATERIALS TO MATCH EXISTING.
 6. ALL STEEL BEAMS/COLUMNS SHOWN ON DRAWING ARE ALL SUBJECT TO CONFIRMATION FROM STRUCTURAL ENGINEER.
 7. ALL PROPOSED WINDOWS OVERLOOKING OTHER NEIGHBORS IF SHOWN SHOULD BE OF OBSCURE GLAZING.
 8. CONSTRUCTION (DESIGN & MANAGEMENT) REGULATIONS 2007:
ALL PERSONS ASSOCIATED WITH THIS PROJECT IN PARTICULAR (BUT NOT EXCLUSIVELY) THE INSTRUCTING CLIENT, THE PRINCIPAL CONTRACTOR, SUB-CONTRACTORS AND OTHER DESIGNERS ARE HEREBY NOTIFIED AND/OR REMINDED OF THEIR OBLIGATIONS UNDER HEALTH & SAFETY LEGISLATION IN GENERAL AND IN PARTICULAR UNDER THE CONSTRUCTION (DESIGN & MANAGEMENT) REGULATIONS 2007 (AND ANY SUBSEQUENT AMENDMENTS THAT MAY BE ISSUED FROM TIME TO TIME).
IN DEVELOPING THEIR DESIGN OF THE WORKS, THE HEALTH & SAFETY OF THE BUILDERS AND THE USERS OF THE CONSTRUCTION HAVE BEEN CONSIDERED IN ACCORDANCE WITH THE ABOVE REGULATIONS AND DECLARE THAT ALL REASONABLE EFFORTS HAVE BEEN MADE TO SEE THAT THE CONSTRUCTION AND USE OF THE WORK/BUILDING WILL BE WITHOUT ANY RISKS GREATER THAN THOSE ASSOCIATED WITH THE NORMAL CONSTRUCTION AND USE OF A BUILDING OF THIS TYPE AND SIZE.
 9. THE PROPOSED WORK WILL FALL UNDER THE PARTY WALL ACT 1996 AND PARTY WALL NOTICE NEED TO BE SERVED ON YOUR ADJOINING OWNER OR OWNERS IN ACCORDANCE WITH THE ACT 1996. THE ISSUED NOTICES OUTLINING THE PROPOSED WORK WILL NEED TO BE SANCTIONED BY THE ADJOINING OWNER PRIOR TO THE ASSOCIATED PARTY WALL WORK COMMENCING ON SITE, IN ACCORDANCE WITH THE ACT 1996.



Client :
**19 Cheltenham Close,
Bottsford, Scunthorpe,
DN16 3DJ**

Site :
**Proposed Single And Double
Storey Rear, Side Extension,
Dropped Kerb & New boundary
wall to 19 Cheltenham Close,
Bottsford, Scunthorpe, DN16 3SJ**

Drawing Title
Block Plans

BRETWAY
DESIGNS LTD
Pinnacle House Business Centre, Newark
Road, Peterborough, PE1 5YD, U.K.
Tel : 01733857631, 07852332121
e-mail: info@bretwaydesigns.com

May 2023 Scale : As Noted

Print @ A3 Sheet Size

PP/23/0690-03

PA/2023/1006 Existing elevations (not to scale)



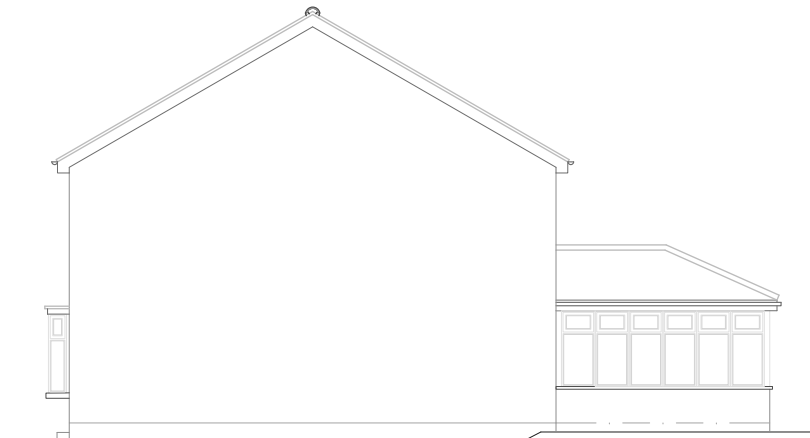
Front Elevation
Scale 1:100



Side Elevation
Scale 1:100



Rear Elevation
Scale 1:100



Side Elevation
Scale 1:100

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8. THE PROPOSED WORK WILL FALL UNDER THE PARTY WALL ACT 1996 AND PARTY WALL NOTICE NEED TO BE SERVED ON YOUR ADJOINING OWNER OR OWNERS IN ACCORDANCE WITH THE ACT 1996. THE ISSUED NOTICES OUTLINING THE PROPOSED WORK WILL NEED TO BE SANCTIONED BY THE ADJOINING OWNER PRIOR TO THE ASSOCIATED PARTY WALL WORK COMMENCING ON SITE, IN ACCORDANCE WITH THE ACT 1996.

Client :
19 Cheltenham Close,
Bottsford, Scunthorpe,
DN16 3DJ

Site :
Proposed Single And Double
Storey Rear, Side Extension,
Dropped Kerb & New boundary
wall to 19 Cheltenham Close,
Bottsford, Scunthorpe, DN16 3SJ

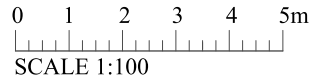
Drawing Title
Existing Elevations

BRETWAY
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Pinnacle House Business Centre, Newark
Road, Peterborough, PE1 5YD, U.K.
Tel : 0173857631, 07852332121
e-mail: info@bretwaydesigns.com

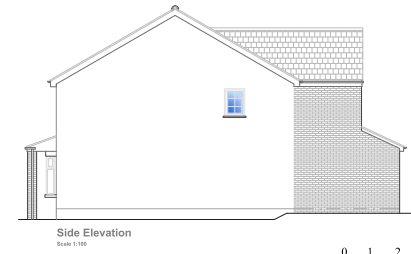
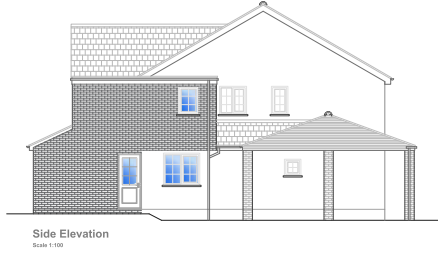
May 2023 Scale : **As Noted**

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PP/23/0690-02

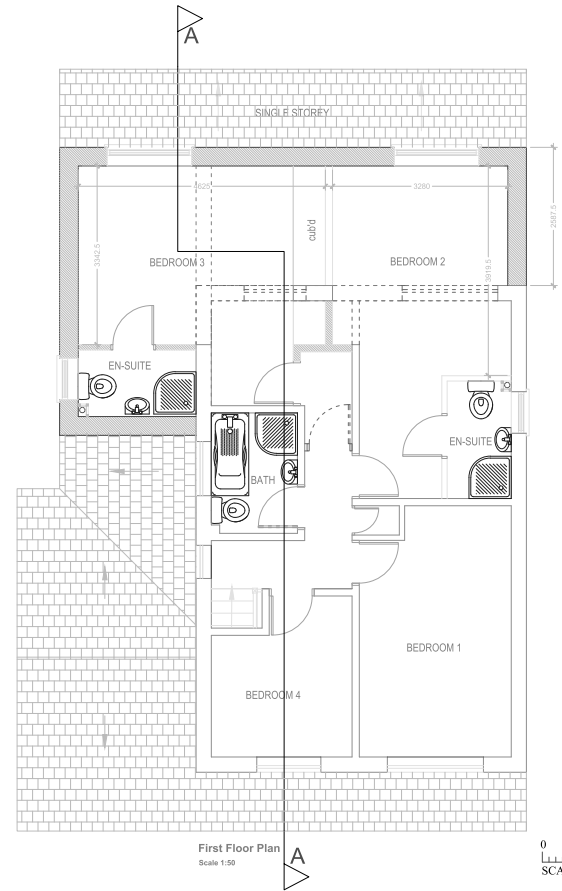
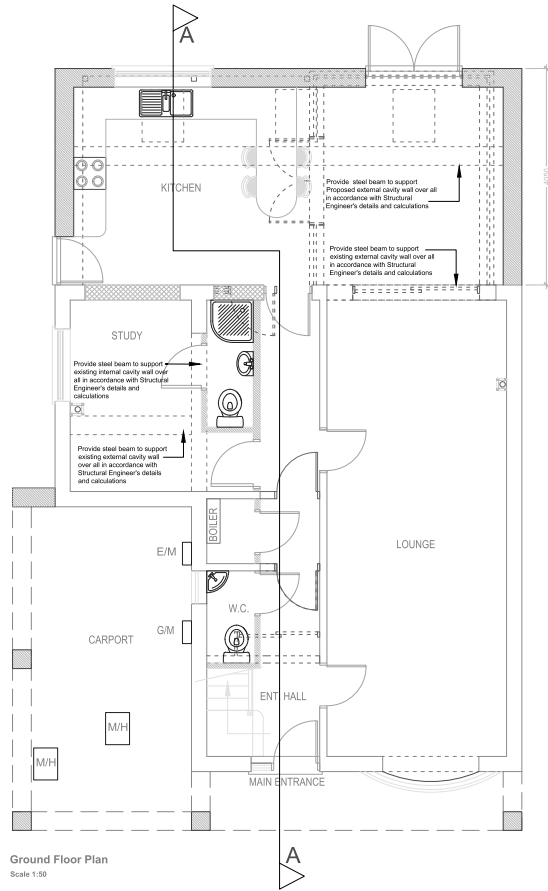


PA/2023/1006 Proposed elevations (not to scale)



0 1 2 3 4 5m
SCALE 1:100

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 4. ALL MATERIALS TO BE USED MUST BE APPROVED BY THE ARCHITECT.
 5. ALL NEW PROPOSED MATERIALS TO MATCH EXISTING.
 6. ALL STEEL BEAM COLUMNS SHOWN ON DRAWING ARE ALL SUBJECT TO CONSTRUCTION FROM STRUCTURAL ENGINEER.
 7. ALL PROPOSED WORK OVER EXISTING WORK OTHER THAN EXISTING WORK SHALL BE OF THE SAME GRADE.
 8. CONSTRUCTION (DESIGN & MANAGEMENT) REGULATIONS 2015.
 9. ALL WORKING ASSOCIATED WITH THE PROJECT IN PARTICULAR BUT NOT EXCLUSIVELY THE ARCHITECTURAL DESIGN, THE PROVISION OF CONTRACTS FOR THE CONSTRUCTION AND OTHER DOCUMENTS ARE HEREBY NOTICED AND APPROVED BY THE ARCHITECT AND THE HEALTH AND SAFETY LEGISLATION IN GENERAL AND IN PARTICULAR UNDER THE CONSTRUCTION (DESIGN & MANAGEMENT) REGULATIONS 2015 AND ANY SUBSEQUENT AMENDMENTS THAT MAY BE ISSUED FROM TIME TO TIME.
 10. IN DEALING WITH THEIR DESIGN OF THE WORK, THE HEALTH AND SAFETY OF THE BUILDING AND THE USERS OF THE CONSTRUCTION HAVE BEEN CONSIDERED IN ACCORDANCE WITH THE ABOVE REGULATIONS AND OTHERWISE ALL REASONABLE EFFORTS HAVE BEEN MADE TO SEE THAT THE DESIGN AND CONSTRUCTION OF THE WORK RELYING ON IT WILL BE IN ACCORDANCE WITH THE NORMAL CONSTRUCTION AND USE OF A BUILDING OF THIS TYPE AND CLASS.
 11. THE PROPOSED WORK SHALL UNDER THE PARTY WALL ACT 1999 AND PARTY WALL NOTICE NEED TO BE SERVED ON OUR NEIGHBOURS WHO CHANGED IN ACCORDANCE WITH THE ACT 1999. THE DESIGN NOTICES OR BUILDING NOTICES WORK WILL NEED TO BE SANCTIONED BY THE ARCHITECT. OUR COMPANY WILL BE RESPONSIBLE IN ACCORDANCE WITH THE ACT 1999.



0 1 2 2.5m
SCALE 1:50

Client:
19 Cheltenham Close,
Botsford, Scunthorpe,
DN16 3DJ

Site:
Proposed Single And Double
Storey Rear And Side
Extension To 19 Cheltenham
Close, Botsford, Scunthorpe,
DN16 3DJ

Drawing Title:
Proposed Section A-A

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MAR 2023 Scale: As Noted

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PP/23/0690-05