

**APPLICATION NO** PA/2023/1150

**APPLICANT** Mrs Justina Gedmine

**DEVELOPMENT** Planning permission for a replacement shed

**LOCATION** 15 Hammerton Road, Bottesford, DN17 2SA

**PARISH** **BOTTESFORD**

**WARD** Bottesford

**CASE OFFICER** Matthew Gillyon

**SUMMARY RECOMMENDATION** **Approve with conditions**

**REASONS FOR REFERENCE TO COMMITTEE** Objection by Bottesford Town Council

## **POLICIES**

### **National Planning Policy Framework:**

12 Achieving well-designed places

### **North Lincolnshire Local Plan:**

DS1 General requirements

DS5 Residential extensions

### **North Lincolnshire Core Strategy:**

CS1 Spatial strategy for North Lincolnshire

CS2 Delivering more sustainable development

CS3 Development limits

CS5 Delivering quality design in North Lincolnshire

### **Housing and Employment Land Allocations Development Plan:**

PS1 Presumption in favour of sustainable development

**New North Lincolnshire Local Plan Submission:** The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until early 2024.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

SS1 Presumption in favour of sustainable development

SS2 A spatial strategy for North Lincolnshire

SS3 Development principles

SS10 Development limits

DM1 General requirements

## **CONSULTATIONS**

**Highways:** No comments or objections to make on this application.

**LLFA Drainage:** No objections or comments to the proposed development.

## **TOWN COUNCIL**

Objects to this application in its current form (size and cladding) with its overbearing appearance.

## **PUBLICITY**

A site notice has been displayed; no comments have been received.

## **ASSESSMENT**

### **Planning history**

No previous planning applications.

### **Site constraints**

The proposed site is within the development boundary and SFRA flood zone 1.

### **The site and proposal**

The proposal is for retrospective planning permission for a shed to be located at the rear of the existing garage at 15 Hammerton Road. The outbuilding has a maximum height of 2.72m, a width of 2.99m and a length of 2.93m. It is finished in timber and felted to protect the outbuilding, and will be used for storage.

### **The main issues in the determination of this planning application are:**

- **the principle of development**
- **impact on the character and appearance of the area**
- **residential amenity**

- **impact on highway safety.**

### **Principle of development**

Policy CS2 of the North Lincolnshire Core Strategy (NLCS) sets out a sequential approach to locations of new development within North Lincolnshire with previously developed land in the Scunthorpe urban area being the most preferable location for new development.

Policy DS5 of the North Lincolnshire Local Plan (NLLP) supports development for outbuildings providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, overbearing impact or loss of privacy to adjacent dwellings.

This proposal is for development within the curtilage of a residential property, within the development limit of Scunthorpe; it is in accordance with these policies and acceptable in principle.

### **Impact upon the character of the area**

Policy CS5 of the NLCS states that new development should be well designed and appropriate for their context and contribute to creating a sense of place, with any proposed development needing to respect the character and appearance of the local amenity.

The retrospective application is for the erection of a shed at the rear of the existing garage. The shed will not be visible from the highway, only being visible by the host dwelling and adjoining neighbours. The shed will be constructed in a timber cladding and felt, which are traditional shed materials, with other examples of similar outbuildings in the area. The shed is of functional design and is not out of character with the area, and is in accordance with policy CS5 of the adopted core strategy.

### **Impact upon residential amenity**

Policies DS1 and DS5 of the NLLP state that new development should be well designed and appropriate for their context with no unacceptable loss of amenity to neighbouring properties. Outbuildings will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, result in overshadowing or a loss of privacy to adjacent dwellings, and is sympathetic in design, scale and materials to the existing dwelling and its neighbours.

The proposal is for a shed at the rear of the existing garage and will not be visible in the public realm due to its siting behind the current built form. The proposed shed is marginally taller than what could be done under permitted development rights (by 22cm). It is located alongside the boundary with the neighbour, there currently being a small wall that defines the boundary. The shed sits between a garage and greenhouse located in the rear curtilage of the dwelling.

The town council's objection is noted regarding the size and overbearing impact of the proposed development. However, given the small-scale nature of the shed and its siting to the rear, between existing outbuildings, it is considered that the proposal will not be overbearing or create an unacceptable adverse impact on residential amenity through overshadowing. No comments have been received from other residents and the proposal is considered to be in accordance with policies DS1 and DS5 of the NLLP.

## **Highway safety**

Policies T2 and T19 of the NLLP are concerned that development should be served by a satisfactory access and parking provision. The proposal does not impact access or parking provision at the dwelling. The Highways officer has no comments or objections to make on the proposal.

## **Conclusion**

The retrospective application for planning permission for a replacement shed is not considered to have any unacceptable adverse impact on the character of the area, highway safety or residential amenity. The proposal is considered to comply with policy and is recommended for approval.

## **RECOMMENDATION      Grant permission subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

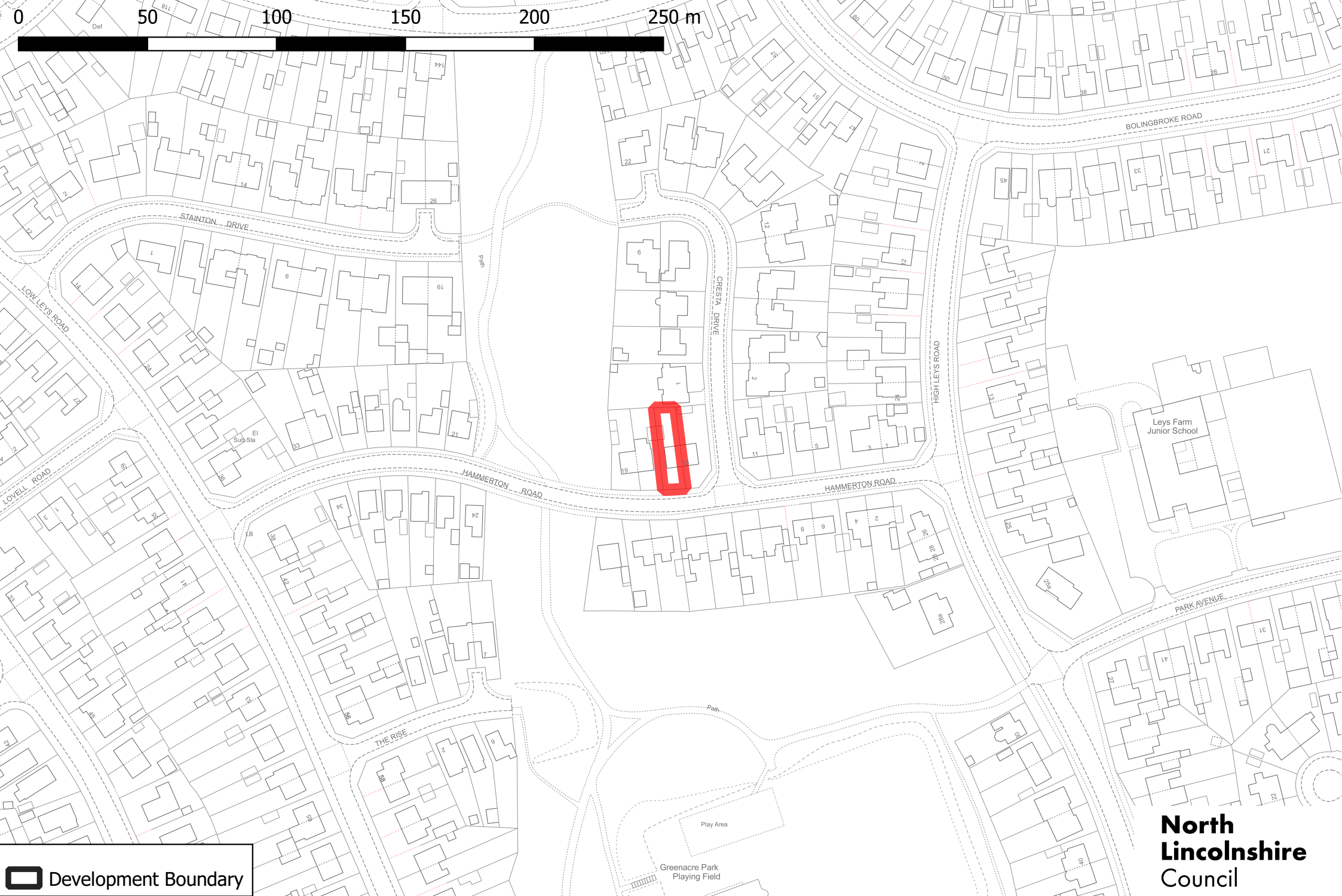
- Existing and Proposed Plans Drawing No. 1844.01.

Reason

For the avoidance of doubt and in the interests of proper planning.

## **Informative**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

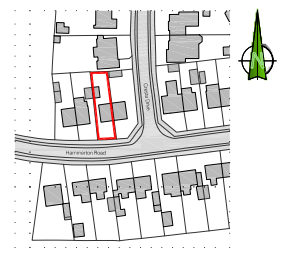


 Development Boundary

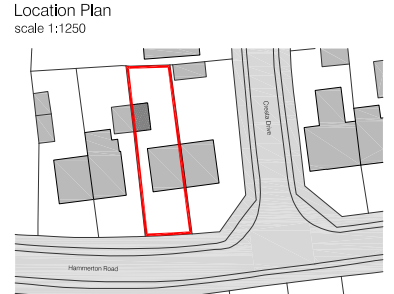
**PA/2023/1150**

**North  
Lincolnshire  
Council**

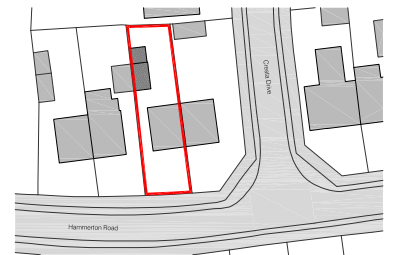
# PA/2023/1150 Proposed layout (not to scale)



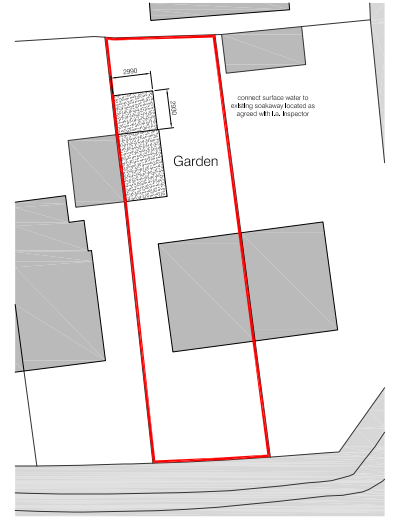
Location Plan  
scale 1:1250  
Ordnance Survey. (c) Crown Copyright 2023. All rights reserved. Licence number 100022432



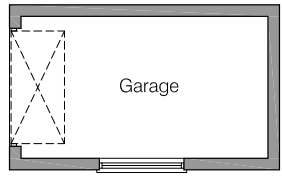
Existing Block Plan  
scale 1:500



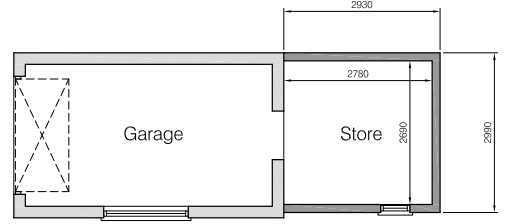
Proposed Block Plan  
scale 1:500



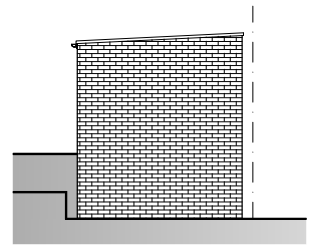
Proposed Site Plan  
scale 1:200



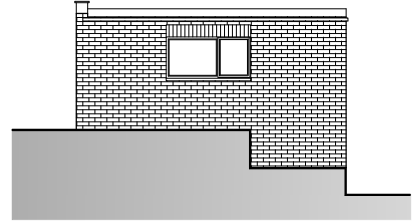
Existing Floor Plan



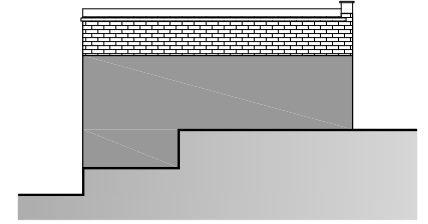
Proposed Floor Plan



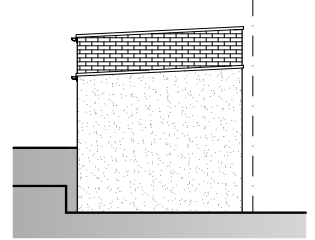
Existing North Elevation



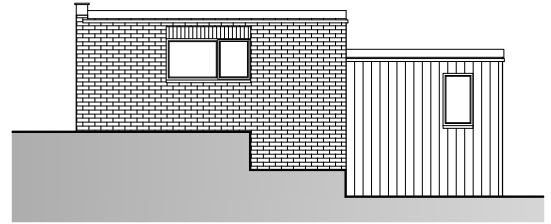
Existing East Elevation



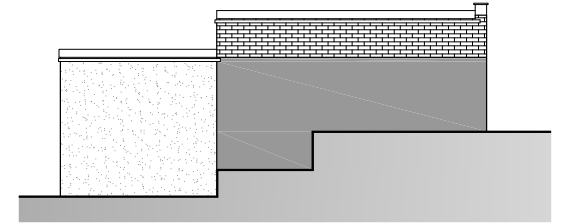
Existing West Elevation



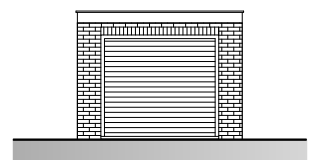
Proposed North Elevation



Proposed East Elevation



Proposed West Elevation



Existing South Elevation  
(Unaltered)

**Material Schedule:**  
 Roof: dark grey single ply roof membrane to flat roof and grey facias  
 Gutters: black uPVC rainwater goods  
 Walls : Vertical naturally stained timber cladding  
 Windows : white uPVC

All dimensions & details given on this drawing are to be checked and verified on site prior to works being undertaken. Any discrepancies and/or variations to the specifications will be these drawings or associated documents are to be notified to keystonearchitecture.  
 Do not scale from these drawings - If in doubt - ask.  
 All materials shall be fixed, applied or mixed in accordance with the manufacturers written instructions, recommendations and specifications. Variations to specified materials shall be agreed in writing with keystonearchitecture.  
 The Contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the Local Authority, whether or not indicated on the drawings or in the specification.  
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**PARTY WALL NOTICES**  
 Building against (A) or against (B) the boundary line:  
 If you plan to build a party wall against or against the boundary line, you must inform the Adjoining Owner by serving a Notice.  
 Excavating near neighbouring buildings:  
 If you plan to excavate foundations within 3 metres of a neighbouring building or structure, where the excavation will go deeper than the neighbour's foundations, you must inform the Adjoining Owner by serving a Notice.  
 If you plan to excavate foundations within 6 metres of a neighbouring building or structure, where the excavation will cut a line drawn at 45° from the bottom of the neighbour's foundations, you must inform the Adjoining Owner by serving a Notice.

**NOT FOR CONSTRUCTION**

rev	amendment	date
1	Ex. & Pl. Plans	18/04/21
2	stage	Planning
3	drawn	August 23
4	scale	1:50 & as shown
5	drawn by	JS