

APPLICATION NO	PA/2023/1489
APPLICANT	Birkett
DEVELOPMENT	Proposed new dwelling and garage
LOCATION	Parbola, Thornton Road, Goxhill, DN19 7HN
PARISH	GOXHILL
WARD	Ferry
CASE OFFICER	Matthew Gillyon
SUMMARY RECOMMENDATION	Approve with conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Goxhill Parish Council

POLICIES

National Planning Policy Framework:

5 Delivering a sufficient supply of homes

11 Making effective use of land

12 Achieving well-designed places

North Lincolnshire Local Plan:

H5 New Housing development

H8 Housing design and housing mix

T2 Access to development

T19 Car parking provision and standards

DS1 General requirements

DS14 Foul sewage and surface water drainage

DS16 Flood risk

North Lincolnshire Core Strategy:

CS1 Spatial strategy for North Lincolnshire

CS2 Delivering more sustainable development

CS3 Development limits

CS5 Delivering quality design in North Lincolnshire

CS7 Overall housing provision

CS8 Spatial distribution of housing sites

CS19 Flood risk

Housing and Employment Land Allocations Development Plan:

PS1 Presumption in favour of sustainable development

Settlement Inset Map – 21 Goxhill

New North Lincolnshire Local Plan Submission: The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until early 2024.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

SS1 Presumption in favour of sustainable development

SS2 A spatial strategy for North Lincolnshire

SS3 Development principles

SS10 Development limits

DM1 General requirements

CONSULTATIONS

Highways: Recommend a condition requiring the vehicle access, parking and turning space to be completed before the dwelling is occupied and thereafter retained.

LLFA Drainage: No objection to the proposed development subject to a condition requiring the development to be carried out in accordance with submitted drawing number 1729-01 rev b, and informative comments.

North East Lindsey Drainage Board: Under the terms of the Board's bylaws, the prior written consent of the Board is required for any proposed temporary or permanent works or structures in, under, over or within the byelaw 9m distance of the top of the bank of a Board-maintained watercourse. The application and agent have been in contact with the Board and it is noted the 9m distance has been left clear of obstructions as discussed.

The new soakaways as a means of surface water disposal should be to an appropriate standard and to the satisfaction of the approving authority in conjunction with the local planning authority.

Environmental Protection: The applicant has demonstrated that they are the current owners of the barn adjacent to the site, which will be demolished prior to commencement of

works on site. Therefore, the department is no longer concerned with noise and odour due to the proximity of a barn housing livestock to a residential dwelling. Also recommend the inclusion of a condition regarding the risk of land contamination.

PARISH COUNCIL

Objects to the planning application with further developments on green space or paddocks setting a precedent for further development on similar sites. The objection is in connection with policies of the Core Strategy CS2 and CS8. In regards to CS2, it fails due to Goxhill not requiring any more houses and increasing the pressures on the existing resource, and the development shows no benefits to the community of Goxhill for CS8. It is more development on an already busy road, potential for more felling of cherry trees which is part of the identity and aesthetic of Goxhill, and the design of the dwelling is not in keeping with the surrounding area.

PUBLICITY

A site notice has been displayed with one comment received on the proposal.

The comment objects to the application with the village already under strain for local amenities and drainage. Thornton Road already experiences regular flooding as well as the sewers regularly being blocked, with the issue only getting worse with more dwellings.

ASSESSMENT

Planning history

No previous applications.

Site constraints

The proposed site is within the development boundary and SFRA flood zone 1.

The site and proposal

The proposal is for a new dwelling and garage south of Parbola, Thornton Road, Goxhill. The site is currently an area of grassed land with a barn sited on the adjacent land to the west, which is in the ownership as the applicant. It has been confirmed that this barn will be demolished prior to the commencement of work for the new dwelling.

The proposed dwelling has been designed as a traditional rural farmhouse which is two and a half storeys, with five bedrooms. The proposed dwelling will be constructed out of Wienerberger Bamberg Red Stock brickwork, Marley Anglia interlocking concrete tiles in Old English Dark Red, off-white timber sash effect uPVC windows and composite doors, and black uPVC rainwater goods. It has also been confirmed within the applicant that any existing tree and hedge planting will be retained.

The main issues in determining this application are:

- **the principle of development;**
- **impact on the character and appearance of the area;**

- **residential amenity;**
- **impact on highway safety; and**
- **flood risk and drainage.**

Principle of development

Section 38(6) of the Planning and Compulsory Purchase Act 2004 provides that If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise. Section 70(2) of the Town and Country Planning Act states that, in dealing with an application for planning permission, the local planning authority shall have regard to the provisions of the development plan, so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations.

In this instance, the development plan consists of the saved policies of the North Lincolnshire Local Plan (NLLP), the North Lincolnshire Core Strategy (NLCS) and the Housing and Employment Land Allocations DPD. Other material planning considerations include the National Planning Policy Framework (NPPF), the emerging North Lincolnshire Plan and the suite of supplementary planning documents.

It should be noted that the council is able to demonstrate a five-year housing land supply as identified within the North Lincolnshire Council Five Year Housing Land Supply Statement, adopted August 2023. Therefore, full weight can be attributed to the Local Plan and Local Development Framework policies and the 'tilted balance' set out in paragraph 11(d) of the NPPF is not engaged.

The application site is within the development limit for Goxhill as defined in the Housing and Employment Land Allocations DPD. Policy CS2 of the Core Strategy sets out a sequential approach to locations of new development within North Lincolnshire with small-scale developments within the defined development limits of rural settlements to meet identified local needs identified as one of the preferences for new development, ranking third in the sequential hierarchy. Policy CS3 sets out how development boundaries will be defined and seeks to strictly control development that falls outside these boundaries. The proposed site is within the development boundary for Goxhill and is considered to be in accordance with the policies.

Policy CS8 sets out the spatial distribution of housing sites and confirms that rural settlements will create opportunities for small-scale infill development that maintains the viability of the settlement and meets identified local needs without increasing the need to travel, Goxhill is a sustainable rural settlement with local services available and as such the proposed development is considered to be in accordance with this policy.

Policy H5 of the local plan looks at proposals for new housing development and requires development to be in keeping with the character and amenity of the immediate environment and with the settlement as a whole. New development must have an adequate and appropriately designed access, and provide adequate parking within the curtilage of the site. Policy H5 also requires that new residential development does not result in overlooking or a loss to privacy to existing developments or any other loss of amenity to existing dwellings.

In considering the principle of development, the proposal is within the defined development limit of Goxhill and would represent sustainable development that accords with the spatial aspirations of the development plan, and is acceptable in principle.

Impact upon the character of the area

Policy CS5 of the NLCS states that new development should be well designed and appropriate for their context and contribute to creating a sense of place, with any proposed development needing to respect the character and appearance of the local area.

Policy H5 of the NLLP looks at proposals for new housing development and requires development to be in keeping with the character and amenity of the immediate environment and with the settlement as a whole.

The site is currently an area of grassland, with two recent residential developments to the north of the proposed site. It is located on a predominantly residential street. It is separated from Thornton Road by a deep grass verge and a row of mature trees that run along the road frontage. The proposed dwelling has been designed to follow the scale of the adjacent properties with proposed materials being sympathetic to existing dwellings in the area. There is also an eclectic mix of design within the local area with a number of different dwelling types and styles. The proposed dwelling will be of a traditional farmhouse style which is appropriate for its context, on the edge of a small rural settlement. It has also been stated that any existing trees and hedges will be retained, which will help the new development integrate with the existing street scene. It is considered that the proposal will not impact the character of the area.

Impact upon residential amenity

Policies H5 and DS1 of the NLLP state that any new development should be well designed and appropriate for their context, with no unacceptable loss of amenity to neighbouring properties.

The proposed development has been designed to reflect its siting, with the majority of windows in the south elevation that will overlook open fields with just one window in the north elevation to limit the potential for loss of privacy to neighbouring dwellings. There is sufficient distance to the dwellings north and east of the proposed dwelling to prevent unacceptable overlooking and loss of light.

There is also an agricultural building to the west of the proposed site with concern raised by Environmental Protection regarding noise and odour from the development. The agricultural building has been confirmed to be owned by the applicant with plans to demolish the building being secured through a pre-commencement condition which has been agreed with the agent.

Overall, it is considered that the proposed development will not create an unacceptable adverse impact on the amenity of neighbouring residential properties and is considered to be in accordance with H5 and DS1 of the local plan.

Highway safety

Policies T2 and T19 of the NLLP are concerned that development should be served by a satisfactory access and parking provision. The proposal has sufficient access and parking shown on the submitted plans. The Highways officer has commented on the proposal,

recommending the inclusion of a condition to ensure highway safety is maintained by securing the proposed access and parking arrangements prior to occupation of the dwelling.

Flood risk and drainage

Policy CS19 of the NLCS states the council will support development proposals that avoid areas of current or future flood risk. The application site is within flood zone 1 and is therefore in a location which is considered to be low risk in terms of flooding. The LLFA Drainage team has reviewed the proposal and recommends the inclusion of a condition and informatives on any permission granted in response to the amended plans that have been submitted. Subject to the recommended condition it is considered the proposed development will have no unacceptable impact in respect of drainage and flood risk.

Conclusion

The proposal for a new dwelling and garage is appropriately designed and not considered to have any adverse impact on the character of the area, highway safety or residential amenity. The proposal is considered to comply with the relevant development plan policies discussed above and is recommended for approval.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

- Existing and Proposed Site Plan Drawing No. 1729.01 rev B

- Proposed Plans and Elevations Drawing No. 1729.02 rev B.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

The dwelling shall not be occupied until the vehicular access to it and the vehicle parking and turning space(s) serving it have been completed and, once provided, the vehicle parking and turning space(s) shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

4.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a

written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

5.

The development shall be carried out in accordance with the submitted drawing number 1729-01 Rev B.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 159 to 169 of the National Planning Policy Framework.

6.

Prior to the occupation of the dwelling, the agricultural building on the adjacent site to the west shall be demolished and all material removed.

Reason

To ensure no loss of amenity for potential future residents in accordance with policy DS1 of the North Lincolnshire Local Plan.

Informatives

1.

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

2.

The developer needs to be mindful of the poor infiltration rate likely to be encountered. For this reason we advise that the developer considers a high level overflow connection into the adjacent watercourse. This will require consent from the Internal Drainage Board.

3.

Alterations and/or connections into the watercourse network must be consented by the local Internal Drainage Board through an Ordinary Watercourse Consent and appropriate discharge rates must be agreed. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

4.

The proposals indicate a new dropped crossing over the riparian watercourse on the eastern boundary. This must be consented by North Lincolnshire Council's LLFA Drainage Team, in

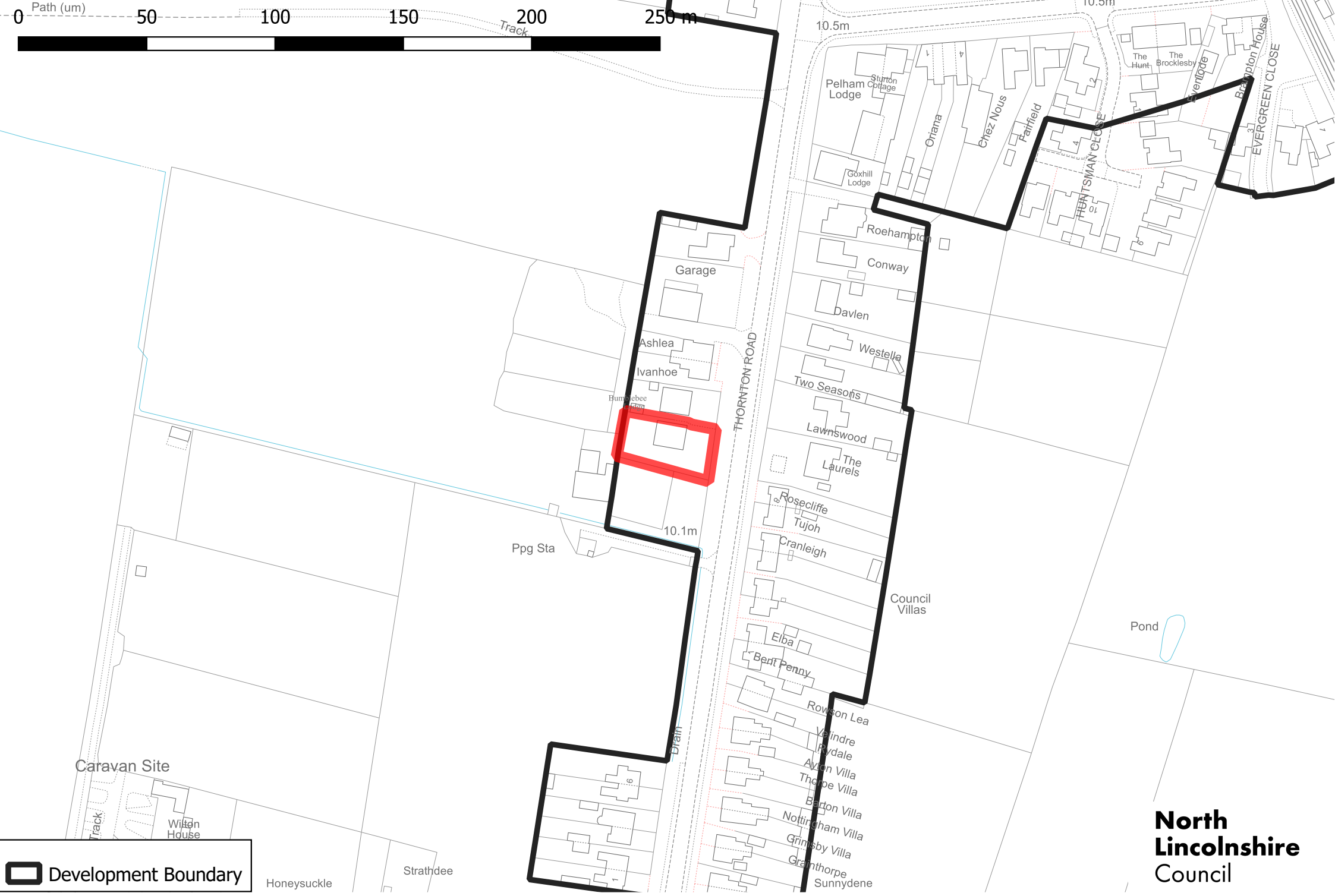
their capacity as Lead Local Flood Authority, and/or the local Internal Drainage Board through an Ordinary Watercourse Consent and appropriate discharge rates must be agreed. Please contact the LLFA Drainage team via email to llfadrainageteam@northlincs.gov.uk for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

5.

It is also suggested you consider upsizing the pipe network, increasing storage around your development, to cater for more intense storm conditions. Although this is not a requirement in terms of surface water flood risk compliance, it would be good practice on your behalf to ensure an increased level of resilience for the development and its future occupiers and we would ask that you fully explore all Source Control SuDS techniques that can store and allow water reuse.

6.

For your information we are fully aware of foul sewer flooding and capacity issues in this area of Goxhill. For this reason, we advise that all surface water from the development cannot be connected into the foul sewer network. Anglian Water needs to provide clarification on foul water capacities and approvals of design and new connections into their foul water sewer.



 Development Boundary

PA/2023/1489

**North
Lincolnshire
Council**

PA/2023/1489 Proposed layout (not to scale)

NOTES:
 All dimensions & details given on this drawing are to be checked and verified on site prior to works being undertaken. Any discrepancies and/or variations to the specifications will be those drawings or associated documents are to be referred to keystone architecture.
 Do not scale from these drawings - if in doubt - ask.
 All materials shall be fixed, applied or related in accordance with the manufacturers written instructions, recommendations and specifications. Violations to specified materials shall be specific writing with keystone architecture.
 The Contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the Local Authority, whether or not indicated on the drawings or in the specification.
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Existing Block Plan
scale 1:500



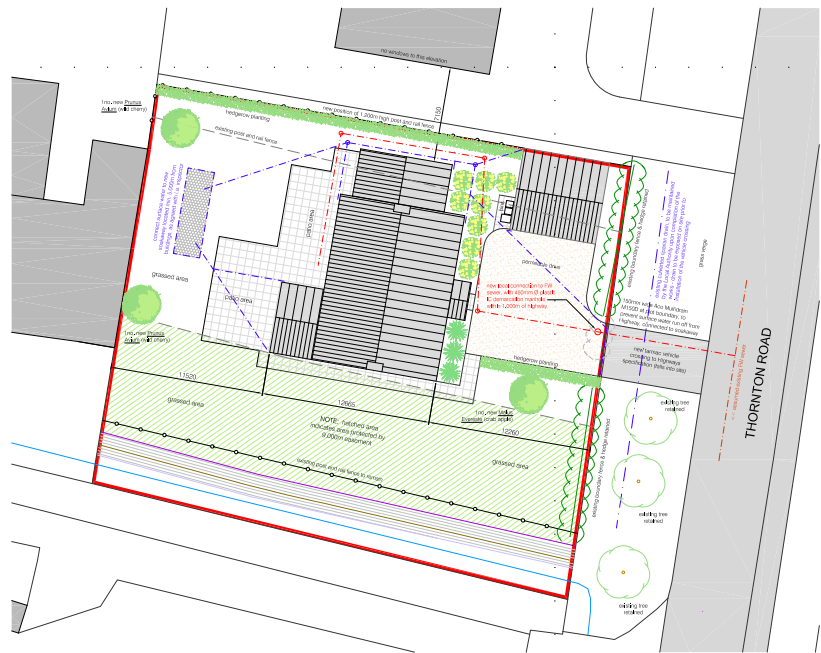
Proposed Block Plan
scale 1:500

PARTY WALL NOTICES:
 Building beside (A) or against (B) the boundary line:
 If you plan to build a party wall beside or against the boundary line, you must inform the Adjoining Owner by serving a Notice.
 Excavating near neighbouring buildings:
 If you plan to excavate foundations within 3 metres of a neighbouring building or structure, where the excavation will go deeper than the neighbour's foundations, you must inform the Adjoining Owner by serving a Notice.
 If you plan to excavate foundations within 6 metres of a neighbouring building or structure, where the excavation will cut a 45° from the bottom of the neighbour's foundations, you must inform the Adjoining Owner by serving a Notice.

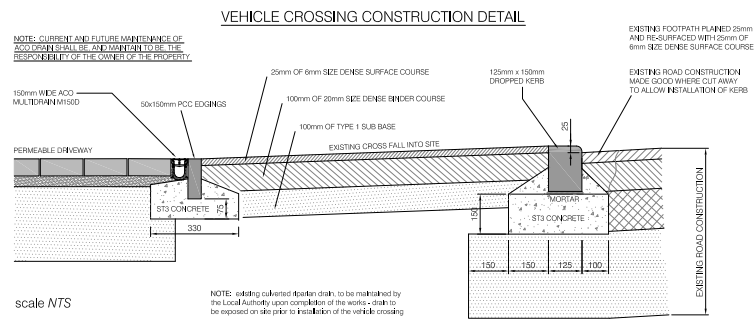


1:1250
 25m 0 25m 50m 75m 100m 125m
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Location Plan
scale 1:1250



Proposed Site Plan
scale 1:200



scale NTS

VEHICLE CROSSING CONSTRUCTION DETAIL

NOTE: CURRENT AND FUTURE MAINTENANCE OF ROADWAY SHALL BE AN OBLIGATION TO THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY.

NOTE: existing culminated gully/drain, to be maintained by the Local Authority upon completion of the works - drain to be exposed on site prior to installation of the vehicle crossing

AMENDED

NOT FOR CONSTRUCTION

B Client Name: Ashlea
 A Client Amendments
 rev. agreement

stage: Planning
 scale: as noted

Ex. and P. Site Plans
 drawn: Aug 23
 drawn by: JCB

1726,01 rev B
 22/08/23
 date

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 ka
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 T: 01753 239 122
 info@keystonetechnical.co.uk
 www.keystonetechnical.co.uk

PA/2023/1489 Proposed elevations (not to scale)

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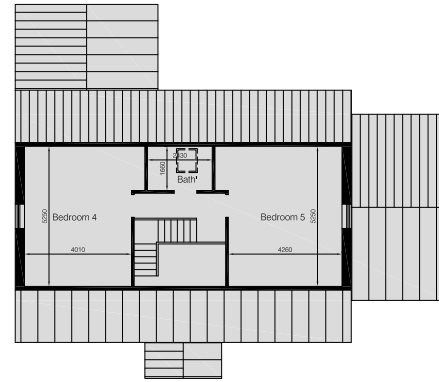
If you plan to excavate foundations within 6 metres of a neighbouring building or structure, where the excavation will cut a drain at 45° from the bottom of the neighbour's foundations, you must inform the Adjoining Owner by serving a Notice.



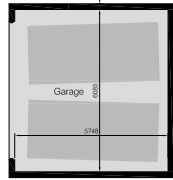
Ground Floor Layout



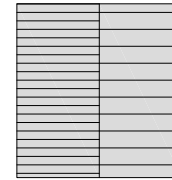
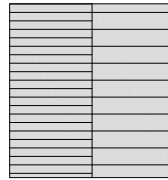
First Floor Layout



Second Floor Layout



Garage



Material Schedule:

- Blockwork: Meneberger Barnburgh Red Stock blockwork
- Roof Tiles: Mowley Anika Interlocking concrete roof Tiles in Old English Dark Red
- Windows: Off white timber sash effect uPVC windows and composite doors
- Roofwater Goods: Black uPVC rainwater goods on ribs & fall brackets
- Porch: Oak timber porch with Ash floor
- Details: Swept soldier courses over windows & reconstructed stone window cills



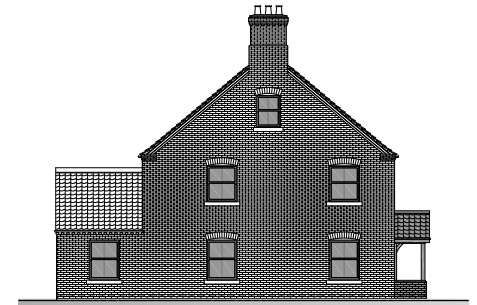
East Elevation



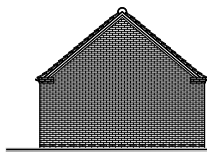
North Elevation



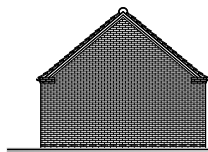
West Elevation



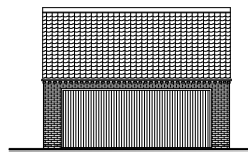
South Elevation



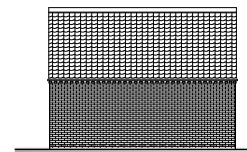
Garage East Elevation



Garage West Elevation



Garage South Elevation



Garage North Elevation

NOT FOR CONSTRUCTION

B	Client Amendments to Windows	22/08/23
A	Client Amendments	22/08/23
rev	agreement	date

Proposed New Dwelling at Land South of Phoenix Thornton Road Good North Lincolnshire	stage	Planning	date	Aug 23
	scale	1:100	drawn by	JCB