

APPLICATION NO	PA/2021/1034
APPLICANT	A E and D M Swaby
DEVELOPMENT	Application for approval of reserved matters (access, appearance, landscaping, layout and scale) pursuant to outline planning permission PA/2017/392 dated 15/06/2018 for six four-bedroomed detached dwellings and integral garages
LOCATION	Land north of Thistle Downe, Scotter Road, Messingham, DN17 3QE
PARISH	MESSINGHAM
WARD	Messingham
CASE OFFICER	Daniel Puttick
SUMMARY RECOMMENDATION	Approve with conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Messingham Parish Council

POLICIES

National Planning Policy Framework:

Paragraph 127 states that planning policies and decisions should ensure that developments:

- (a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- (b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- (c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- (d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- (e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- (f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

North Lincolnshire Core Strategy:

CS2 Delivering more sustainable development

CS5 Design

CS19 Flood risk

North Lincolnshire Local Plan:

H5 New housing development

H8 Housing design and housing mix

T2 Access to development

T19 Car parking provision and standards

DS1 General requirements

DS14 Foul sewage and surface water drainage

DS16 Flood risk

Housing and Employment Land Allocations DPD:

PS1 Presumption in favour of sustainable development

New North Lincolnshire Local Plan Submission: The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until early 2024.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

SS1 Presumption in favour of sustainable development

SS2 Spatial strategy for North Lincolnshire

SS3 Development principles

H2 Housing mix and density

DQE1 Protection of landscape, townscape and views

DQE5 Managing flood risk

DQE6 Sustainable drainage systems

DQE12 Protection of trees, woodland and hedgerows

T1 Promoting sustainable transport

T3 New development and transport

T4 Parking

DM1 General requirements

DM3 Environmental protection

CONSULTATIONS

Highways: No objection subject to conditions regarding access provision and final design, and requiring a construction phase traffic management plan to be agreed prior to development.

Recycling: General informative advice provided on the requirements for waste management.

Drainage (Lead Local Flood Authority):

First response: Objects to this reserved matters application. The proposed layout makes no reference or provides no mitigation to safeguard the existing riparian watercourse located on the southern boundary, in very close proximity to plots 3 and 4. This was previously referenced in our correspondence for PA/2017/392. The applicants must consider diversion of this feature and into the new road network for the development.

Second Response: Following discussions, the LLFA Drainage team are prepared to remove their objection. The developer should be aware of the drainage requirements to successfully discharge existing drainage conditions.

Third response dated 20 March 2023: The LLFA Drainage team object to the proposed reserved matters layout application. Whilst we have previously approved this reserved matters application and were to await a detailed surface water drainage strategy to discharge conditions for outline application PA/2017/392, the revised proposals indicate a surface water drainage strategy with connections into the adjacent watercourse. The adjacent watercourse location is not shown on the documentation. This requires clarification. It is our assumption the developer is referring to the watercourse on the southern boundary which is unacceptable unless appropriate mitigation measures are put in place? The development also proposes 2-metre high fencing on the southern boundary which restricts the future riparian owners of this drain's ability to maintain this drainage feature.

Notes to developer:

- We have previously suggested diverting the watercourse on the southern boundary (from north of the new access road) into the development. This must be fully explored.
- Pipe is under the hedge and unmaintainable from anywhere but the roadside and behind Thistle Downe.
- Install manholes in affected plots? This possibly increases the likelihood of pollution misconnections moving forward?
- Current condition of the watercourse is unknown?

We await clarification on the above matters before commenting further.

Fourth response dated 17 May 2023: Whilst we have no objections to this reserved matters layout we note figure 3.16 refers to a diverted watercourse within the highway on or just beyond the western boundary of this development. The exact location of this watercourse requires further confirmation by the developer. Whilst it is acceptable for a management company to maintain ALL surface water drainage features on private property, it is not acceptable for the surface water drainage under the adopted highway, so further consideration needs to be carried out for this also. We have no further comments to make at this stage.

Fifth response dated 17 November 2023: It must be noted that surface water drainage conditions were not linked to the reserved matters application and therefore we cannot object to this application due to lack of information relating to our conditions.

The developer is aware of the need to provide a combined surface water drainage strategy for the whole site. Our response to this reserved matters application would be no objections in principle. However, until we receive satisfactory A & M [adoption and maintenance] details for all surface water drainage, including the existing riparian watercourses on the eastern and southern boundaries, we will not discharge our surface water drainage conditions. Leaving these features alone without an appropriate maintenance agreement in place is unacceptable which may lead to a resubmission of housing layout and/or abortive works. Transferring the ownership of the watercourses under numerous property owners is unacceptable.

Humberside Police – Designing Out Crime: Concerns over the low-level fencing to the rear of plots 1–3 which back onto a road. Could result in increased risk of theft as the rear of these dwellings would be exposed and easily accessible.

Ecology: Ecological surveys and revised proposals are required in order to deliver biodiversity enhancements in accordance with the NPPF, policy CS17 and condition 8 of PA/2017/392.

PARISH COUNCIL

Objects to the application, noting that it does not address the following:

- *Surface water management* – concerns that there is no mitigation to address the present ineffective and overloaded system with regular presence of foul water in the currently overgrown and inadequately maintained open drain.
- *Foul water drainage system* – no proposals to address the increased pressure on the already overloaded system or to address the existing issues which are exacerbated during heavy rain, causing overflowing inspection covers and toilets on the adjacent development.
- On planning application PA/2017/392 Severn Trent stated the need to investigate the effectiveness of the current foul sewerage system and implementation of the resulting improvements. There is a lack of evidence to indicate that these conditions have been met.
- *Attenuation pond* – documentation submitted by the same applicants for planning application PA/2019/164 on adjacent plot included an attenuation pond but has not been referenced in this application.

- Concerns that the proposed development is not in keeping with the neighbouring street scene as three of the proposed properties back onto the A159.

PUBLICITY

Advertised by site and press notice. Three responses have been received objecting to the proposal raising the following concerns:

- effect of the development on the existing drainage network and the potential for flooding in the local area
- the current proposal has been amended substantially from that originally submitted
- the rear of dwellings facing the road could encourage crime
- lack of information – various reports
- lack of privacy to the rear gardens of the new dwellings
- the access is dangerous
- noise impacts from traffic on existing residents
- overshadowing and loss of light
- overlooking
- loss of outlook
- the access road could facilitate further future development
- loss of wildlife habitats on the site.

Since the resolution to defer the application at the committee meeting on 6 September 2023 further correspondence has been received from local residents. The correspondence received does not raise any new issues which Members will need to consider; however, it is considered necessary to draw Members' attention to these additional representations in light of the deferral of the application and the subsequent discussions between the developer, officers and the LLFA Drainage team.

ASSESSMENT

This application was initially deferred by Members at the meeting on 17 November 2021 to allow for the submission of further drainage information. The application was presented back to committee on 6 September 2023, where Members again resolved to defer the application.

The minutes of the meeting note that Cllr Poole stated he had a number of concerns around flooding and the watercourse, and urged the committee to seek further clarification on certain aspects including ownership and responsibility for the dyke. Cllr J Davison stated the committee required more detailed worked up plans on the foul and surface water management/ownership and that the application should be deferred until that is received.

The minutes record that the motion to defer the application for additional drainage information to be received was moved by Cllr J Davison and seconded by Cllr Ross. The motion was carried.

Since the 6 September meeting, the applicants have been in discussion with officers regarding the concerns raised by the committee. The applicants have provided further information about the intended method of treatment of surface and foul water from the development, which has been the subject of further negotiations with the LLFA. These are assessed in more detail within this report; however, it is now the case that sufficient detail has been provided to satisfy officers a suitable scheme can be brought forward as part of the discharge of conditions imposed on the original outline planning permission. It is therefore the case that there are no objections from the LLFA as highlighted above. This recommendation comes with strict caveats which the developers have been made aware of.

Site description

The application site is part of an existing field, set between existing residential development formed of properties on Gelder Beck Road and Scotter Road. It fronts onto Scotter Road. The site lies within Zone 1 of the North and North East Lincolnshire Strategic Flood Risk Assessment (SFRA) November 2011. It is mostly within the development limits of Messingham as per the Housing and Employment Land Allocations Development Plan Document, with the exception of a small section to the northwest corner. A ditch runs along the front boundary.

The application site has outline planning permission (as of June 2018) for six detached dwellings (PA/2017/392). PA/2019/164 granted outline planning permission for up to 25 dwellings on land to the west of the site.

Proposal

This reserved matters application seeks approval for the submitted details in relation to the outline permission referenced above. All matters are reserved and this application will therefore consider access, appearance, scale, layout and landscaping, along with any other relevant material considerations.

The proposed six dwellings are laid out in a linear fashion with two rows of three, all facing into the centre of the site. The rear of three of the dwellings will back on to Scotter Road. The dwellings are all of the same house type, featuring pitched roofs, single-storey front porches and rear lean-to elements. Each dwelling would have a built-in garage with living accommodation above, set down from the main ridge and behind the front elevation. The dwellings are shown to be constructed in red brick with clay tiling.

Post and rail fencing is proposed to the Scotter Road (east) boundary of the site, with timber fencing and brick walling elsewhere.

Each of the dwellings would have parking to the frontage accessed from a private shared drive in the centre of the site, which itself would connect to the adopted access road to the northern boundary, providing vehicle and pedestrian access to and from the highway.

The principle of six dwellings on this site has been deemed acceptable via outline planning permission PA/2017/392.

The main considerations in the determination of this reserved matters application are:

- **layout, scale and appearance;**
- **access;**
- **landscaping;**
- **drainage;**
- **residential amenity;**
- **ecology.**

Appearance, scale and layout

The NPPF attaches great importance to the design of the built environment. Paragraph 130 states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policies H5 and DS1 of the North Lincolnshire Local Plan and policy CS5 of the Core Strategy are concerned with quality of design and visual amenity. In respect of impact on character, policy DS1 states that the design and external appearance of a proposal should reflect or enhance the character, appearance and setting of the immediate area.

Layout

In terms of the visual impact of the proposed layout, the site has previously been identified as being large enough to accommodate six detached dwellings as it has outline planning permission as proposed here. The site layout provides access to the north with a driveway dividing the three western dwellings and three eastern dwellings, all of which are arranged in a broadly linear manner parallel to Scotter Road.

The layout as proposed would ensure that adequate separation distances would be achieved between the dwellings to avoid loss of amenity, and to neighbouring dwellings to the north and south – this matter will be further discussed later in this report. Furthermore, adequate private amenity areas would be ensured which are commensurate with the scale of the dwellings proposed, with rear gardens of an acceptable scale.

The layout of the site is designed with the rear elevations of Plots 1–3 facing Scotter Road. The building line of the street will be largely followed, with a set back of the buildings from the highway by over 10 metres. Whilst plots 1–3 would not front onto the road, the dwellings to the north at Gelder Beck Road are aligned perpendicular to the road, and the single dwellings to the south of the site vary in terms of appearance and scale. It is not considered that the proposed layout would break with any uniform layout along the street scene. The use of appropriate boundary treatment is proposed through the use of low impact post and rail fencing. Planting shall be secured to provide privacy and further reduce the visual impact.

Scale

The scale of the proposed two-storey dwellings is appropriate. The dwellings would not be excessively high or cover large footprints and would have a similar scale to the dwellings at Gelder Beck Road to the immediate north, as well as Thistle Down to the south. Plots 1–3

would sit slightly higher (less than 1 metre) at ground level than plots 4–6, which would limit the impact of the latter when viewed from the highway.

Appearance

Further to the above considerations regarding the visual impact of the layout and scale of the proposal, the overall design of the dwellings is considered. The use of red brick and clay tiling would tie the dwellings in well with those to the north and south, and would be appropriate for this semi-rural location, reflecting the local rural vernacular. Samples of materials are required by condition 5 of the outline permission, and this remains extant. The porch features and the set down design of the garage end of the dwellings would provide a degree of visual interest to the houses themselves and reduce the overall massing.

The proposed timber and post and rail fencing would be appropriate for the site, and the use of spacious front gardens and brick walling to the north bounding the access road would also be appropriate. Planting to the eastern boundary will reduce the overall visual impact of the development and provide a greater degree of visual interest to the street scene, softening the impact of the built development.

It is considered that the overall appearance of the site as proposed is appropriate to the street scene and character of the wider area and would ensure good quality design within the site. The proposal is of an appropriate density and scale for its location on the southern edge of Messingham. In this regard, the proposal accords with policies DS1 and H5 of the North Lincolnshire Local Plan and CS5 of the Core Strategy.

Highways, access and parking

Policy T2 of the North Lincolnshire Local Plan states that all development should be served by a satisfactory access. Policy T19 is concerned with parking provision, as well as general highway safety. Both policies are considered relevant. Outline planning permission has been granted for this site, and the sustainability of the travel options to and from the site, or impact on existing highway capacity, is not a determining factor in the assessment of the reserved matters.

The application proposes direct access from Scotter Road to the east. An adopted road would run alongside the northern boundary of the site, with a private driveway running from north to south through the site and providing private driveways to garages on each plot. It is considered that the proposed layout plan shows adequate private parking for each of the six plots. A pedestrian footpath is proposed to link with the existing on the opposite (east) side of the main road.

The Highway authority has been consulted and has no objection to the proposal subject to the provision of adequate parking as shown, prior to occupation. As most of the recommended conditions are attached to the outline permission, it is not necessary to add them to the reserved matters approval. An additional condition relating to the retention of good visibility splays will be added, as will a detailed condition on the construction of the proposed private driveway.

Subject to the above, it is not considered that there are any issues in relation to access or parking.

Landscaping

The proposed layout drawing shows shrub planting to the east and west boundaries of the site, which would provide a degree of security, in addition to soft screening between the dwellings and the road to the east in particular. The planting of 13 trees throughout the site, including along the external boundaries and along the shared driveway between the six plots, would provide a degree of visual interest and design benefit. The revised NPPF calls for the use of tree-lined streets and beauty in design. The use of trees, at a proportion of more than two per dwelling, would contribute towards the enhancement of the development.

Hedging to the southern boundary would be retained, which would provide screening between the existing dwellings and the new development. The use of timber fencing and walling throughout would provide privacy to the dwellings without harming the overall appearance of the area. The mix of post and rail fencing and planting to the boundary with Scotter Road and the existing drainage dyke would provide a low impact boundary treatment which would be appropriate for the site location on the edge of Messingham.

The use of lawned gardens to the frontages of the six plots in addition to brick paved driveways would provide a further degree of visual interest to the site and contribute positively to its overall appearance. Overall, the proposed landscaping, hard surfacing and boundary treatments would be acceptable.

Drainage

As with the outline stage, concern has been raised about the drainage system in the area. These concerns have been raised by local residents and have been the subject of detailed discussion by Members, resulting in past decisions to defer determination of the application.

The LLFA Drainage team have previously been consulted on the proposals and whilst they initially objected, this objection was removed after clarification over the scope of the current reserved matters application and the retention of conditions on the outline permission. Condition 10 on the outline permission for this site requires details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway to be submitted to and approved in writing by the local planning authority. This condition remains in place and must be discharged prior to the commencement of development. Similarly, the drainage scheme and details for the whole site must be submitted and agreed prior to the occupation of any building on the site.

Members will recall that the application has been deferred twice by the committee to allow further drainage information to be submitted. Following the September committee, the applicants provided further information which has been the subject of further discussion with the LLFA. Prior to this, the applicants provided additional information in the form of a revised Outline Sustainable Drainage Strategy, which allows for the proposed diversion of the watercourse affecting the site.

As noted above, following these discussions the LLFA have formally stated that they have no objections to the reserved matters layout. Condition 10 of the outline planning permission states:

'No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use.'

Additional information has previously been provided by the applicants' consultant team which demonstrates that there would be a potential route for the diversion of the watercourse, and that this can be accommodated within the detailed design of development proposals affecting the adjacent site. The applicants have since provided further conceptual information which would see the roadside and southern watercourses unaffected, with all surface water to be discharged via sewers to be adopted by Severn Trent Water and discharged into the watercourse on the western boundary of the site which was granted planning permission under application PA/2019/164. This watercourse and land to the west are within the applicants' ownership, and the applicants have indicated that it would be possible to provide above-ground storage for the site through the creation of a pond or by works to the existing watercourse.

There are still matters which require consideration as part of the proposed development of the site, including matters raised by the LLFA in respect of riparian watercourses and responsibilities going forward. The LLFA have made it clear that leaving features alone without an appropriate maintenance agreement in place is unacceptable, and that transferring the ownership of the watercourses to numerous properties is too.

On the basis of the information provided following Members' resolution to defer the application, it is recommended that approval of reserved matters be granted in the absence of any outstanding technical objection from consultees. Conditions remain in place to control the detailed design of the drainage scheme for the site through those imposed on the original outline permission and further information will need to be submitted before any development commences on site.

Based on the information provided by the applicants in support of this application, it is not considered reasonable for the local planning authority to continue to withhold approval of reserved matters and to do so would prejudice the delivery of housing in an area which has previously been considered suitable for residential development. Doing so would also unnecessarily delay development which has previously been found to be acceptable in planning terms.

The conditions imposed on the outline permission are in place to ensure adequate on-site drainage is provided prior to the dwellings being occupied, and to ensure that surface and foul water is appropriately managed. The reserved matters layout plan indicates that works in connection with the existing dyke are to be agreed with the local authority; however, further information has been provided which demonstrates that diversions are capable of being achieved. The precise detail of these arrangements can continue to be adequately controlled by conditions imposed upon the outline permission, and the LLFA Drainage team have made clear that an appropriate method of drainage for the site must be agreed for the above conditions to be discharged.

The fundamental requirement of the drainage scheme is that it must ensure that existing dwellings are not adversely affected. The additional information provided by the applicants has confirmed that suitable provision can be made for drainage to serve the development without impacting upon existing dwellings. The finer technical details remain something which would be addressed through the discharge of planning conditions on the outline permission.

Following further discussion with consultees, in the absence of any objection from the LLFA Drainage team, and in light of the stringent conditions which still apply to the development, Members are advised that the reserved matters for which approval is sought are considered

to be compliant with policies CS19 of the Core Strategy and DS16 of the North Lincolnshire Local Plan.

Residential amenity

Policy DS1 is partly concerned with impacts upon residential amenity. It states that no unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing.

The proposed dwellings would each be no closer than approximately 9 metres from any of the existing dwellings to the north or south (Thistle Down). Plots 1–3 would generally be in excess of 15 metres from plots 4–6. The new dwellings would not be positioned in such a manner as to result in any unacceptable loss of sunlight or outlook to either new or existing dwellings. There would be a loss of view from the rear of the properties to the north, however this is not a material planning consideration and sufficiently open outlook would be retained across the proposed access road.

In terms of privacy and overlooking, the dwellings would have primary windows facing either into open land to the west (plots 4–6) or Scotter Road (plots 1–3). The respective front elevation windows on each of the proposed dwellings would be between 15 and 20 metres apart and would not result in unacceptable levels of overlooking. Planting to the eastern boundary of the site will ensure a good degree of privacy to the rear ground floor windows and rear gardens of plots 1–3. Given the layout of the site, there would be no direct views from any habitable room window into corresponding windows at Thistle Down or the Gelder Beck Road properties.

Concerns have been raised regarding the impact of noise from traffic using the access road on the rear gardens of the three dwellings adjoining it to the north. It is not considered, given the proposed 1.8 metre timber fencing and the scale of the current proposal (six dwellings), that there would be an unacceptable level of activity which would be over and above that expected from a housing development. The access road will be constructed from bound material which will limit any road noise; furthermore, vehicles are likely to be travelling at lower speed, given the nature of the road, compared to the busier Scotter Road to the east.

General noise from the dwellings is unlikely to exceed that present in the existing developments to the north, or levels which would be abnormal for an urban area, particularly given the relatively modest scale and density of the proposal.

It is not considered that there would be any unacceptable impact on residential amenity of neighbouring dwellings nearby, particularly those to the north and south. The proposal therefore accords with policy DS1 of the North Lincolnshire Local Plan in this regard.

Ecology

The issue of ecology has been raised in letters of objection. The site at present is fairly nondescript open land and is not considered likely to provide a substantial wildlife habitat; also, some wildlife is likely to be present as with all undeveloped land of this nature. The loss of the grassed area is considered likely to be offset by the provision of trees and planting within the site. The cherry trees would attract pollinators and provide fruits for birds. The rowans (*Sorbus*) would also provide similar opportunities. Other planting proposed would provide biodiversity benefits to birds and insects.

Condition 8 of the outline permission, requiring ecological surveys etc, remains extant and must still be discharged. The current proposed landscaping is acceptable for its ecological and design benefit to the site; nevertheless, the developer should be aware that additional planting maybe required to provide adequate biodiversity net gain on the site at the discharge of condition stage.

Other matters

With regard to the lack of a number of surveys and reports as indicated in one objection, the local planning authority has previously considered that sufficient information has been provided to make an accurate recommendation on this proposal.

The concerns regarding the rear of plots 1–3 facing the road and the potential for increased crime have previously been noted. As with any new development, adequate security provision is recommended. As indicated previously, the police (Designing Out Crime team) have been consulted on the proposal and suggest improved security measures via screening and planting to the eastern boundary of the site with the main road. The application has previously been amended to add thorny shrubs to the rear boundaries of plots 1–3 to deter intrusion and provide an additional degree of security.

The previous report identified that outline planning permission had been granted for up to 25 dwellings on the land to the west of the site (PA/2019/164). This would likely be served by the same access road as the current proposal site, as indicated on the submitted site layout plan. No applications for approval of reserved matters in respect of this application are currently being considered by the local planning authority. Any matters relating to further development to the west need to be addressed via future application where it will also be assessed on its own merits.

Conclusion

In summary, this reserved matters application is considered to be in accordance with relevant policy in relation to access, appearance, landscaping, layout and scale. Matters relating to drainage have been adequately addressed through the submission of further information in the form of an updated Outline Sustainable Drainage Strategy and through further discussion with officers.

Detailed arrangements for drainage at the site remain the subject of a condition imposed on the outline permission, and as a result further precise details would need to be submitted before any development commences on site. There are no longer any objections to the scheme from the LLFA Drainage team, subject to strong caveats which put the onus on the applicants to produce a suitable scheme which would not give rise to risks associated with surface water flooding or drainage issues from the development, and which deal with ownership issues associated with the management and maintenance of riparian watercourses.

The additional information provided by the applicants following the committee's deferral of the application has satisfied officers that a suitable drainage scheme can be brought forward at the site. The application is therefore recommended for approval subject to conditions.

RECOMMENDATION **Grant approval subject to the following conditions:**

1.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that order with or without modification), nothing shall at any time be erected, retained, planted or allowed to grow over 1.05 metres in height above the level of the adjoining carriageway for a distance of 2 metres from the highway boundary across the site frontage.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

2.

No dwelling served by the private driveway shall be occupied until it has been constructed in accordance with details including:

- (i) the proposed method of forming access from the highway, including the required visibility splays;
- (ii) the method of constructing/paving the drive;
- (iii) the provision of adequate drainage features;
- (iv) the provision of suitable bin collection facilities adjacent to the highway;
- (v) the provision of suitable lighting arrangements; and
- (vi) the provision of street name plates that shall include the words 'Private Drive';

which have been agreed in writing by the local planning authority. Once constructed the private driveway shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

3.

The planting shown on approved drawing 1360.03 shall be implemented prior to first occupation of the first dwelling on the site, and shall be retained thereafter unless otherwise agreed in writing by the local planning authority. Any tree or planting which becomes diseased, dies or is removed within the first five years of completion of the development shall be replaced with a similar species during the next available planting season.

Reason

In the interest of the ecology and appearance of the site in accordance with policy CS5 of the North Lincolnshire Core Strategy and policy DS1 of the North Lincolnshire Local Plan.

4.

The development hereby permitted shall be carried out in accordance with the following approved plans:

1360.03 Layout

1360.02 Proposed dwellings.

Reason

For the avoidance of doubt and in the interests of proper planning.

Informatives

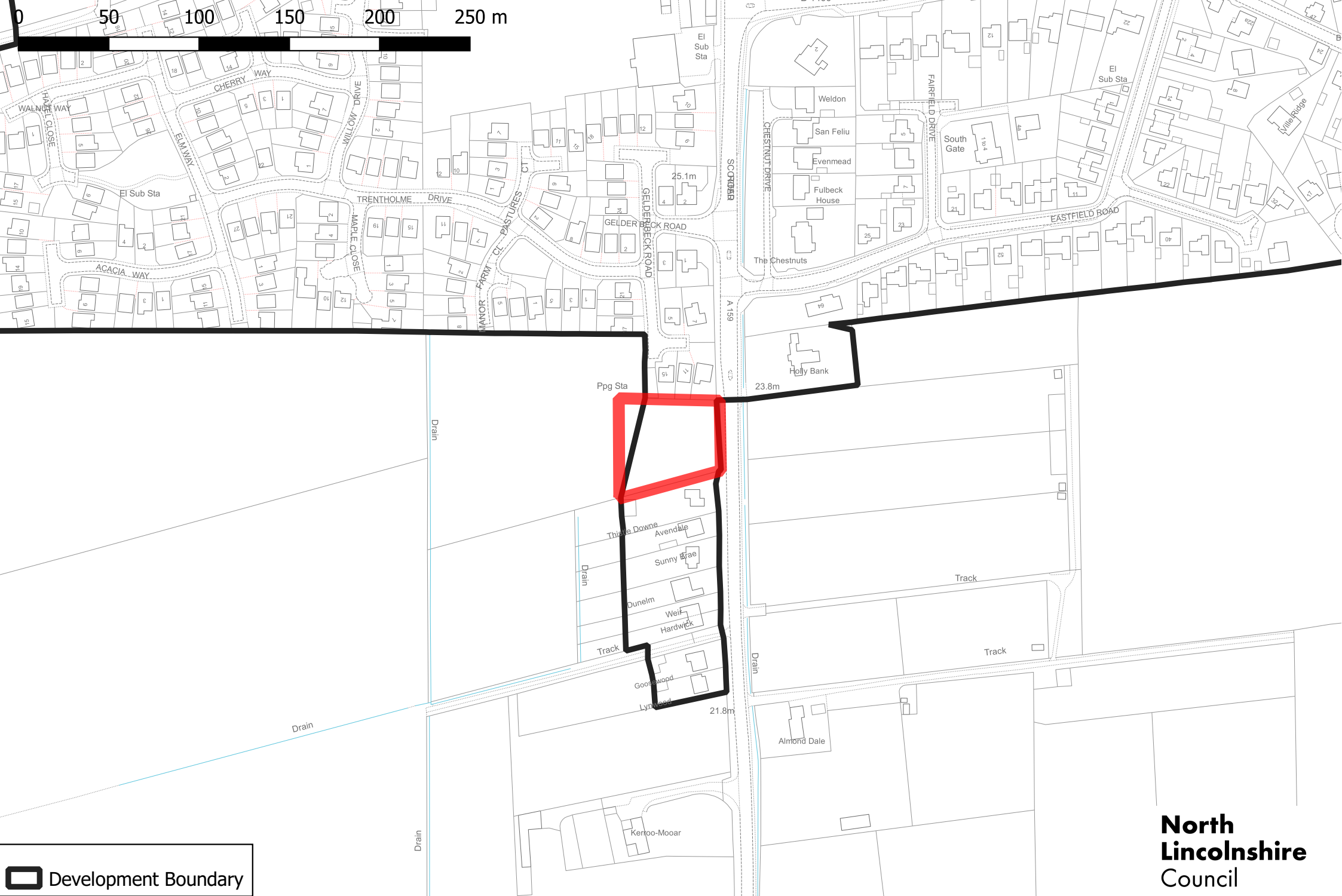
1.

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

2.

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



 Development Boundary

PA/2021/1034

**North
Lincolnshire
Council**

AMENDED

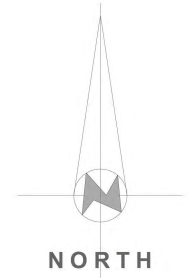
DC NOT SCALE FROM THIS DRAWING.

NOTES
 All materials, construction and details shown or implied by this drawing must comply with the current British Standards, Codes of Practice, Planning and Building Regulation requirements, Health and Safety Executive Legislation and the Client's particular specifications. Conflicting information shown or implied shall be referred to ADS (Scunthorpe) Ltd. This drawing is Copyright and the information contained within it is strictly confidential and may not be disclosed to third parties without the written permission of ADS (Scunthorpe) Ltd.

Revision	Date

NCTE - this drawing is to be read in conjunction with drawing reference 18E5/001 prepared by Shire Surveys

Vehicular crossover to details to be agreed with the Local Authority



- LANDSCAPING SCHEDULE**
- T01 - Sorbus 'Vilmorinii'
 - Vilmorin's Rowan Trees
 - T02 - Prunus 'Accolade'
 - Flowering Cherry Tree
 - T03 - Prunus 'Ukon'
 - Japanese Flowering Cherry Tree
 - T04 - Prunus 'Pandora'
 - Flowering Cherry Tree
 - T05 - Sorbus 'Joseph Rock'
 - Tree
 - Yellow Berried Mountain Ash

- SITE FRONTAGE PLANTING -**
- Berberis Stenophylla
 - Ilex Aquifolium 'Ferox Argentea'
 - Mahonia Media 'Winter Sun'
 - Pyracantha Orange Glow.

Proposed Site Layout

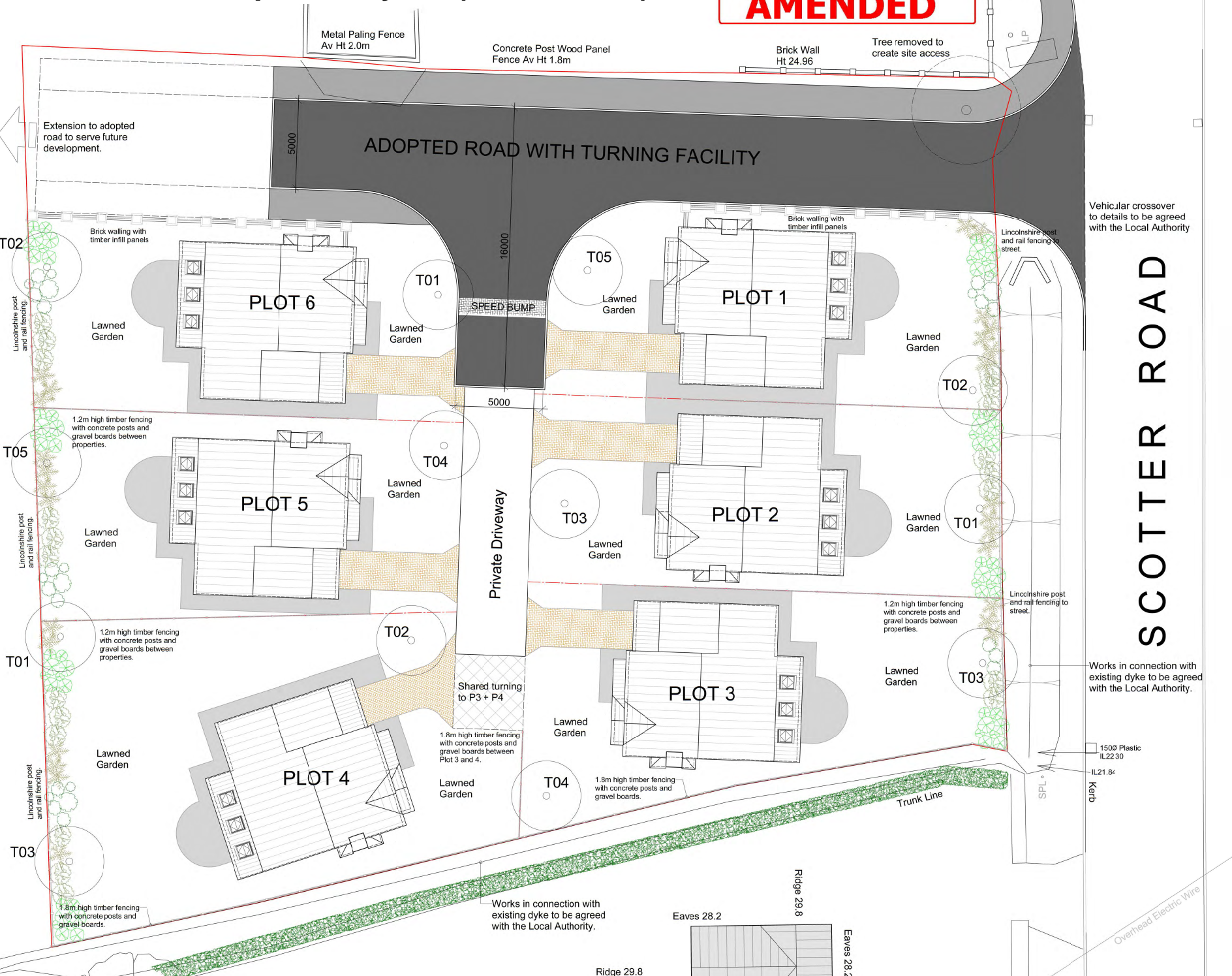
Project:
 Proposed Housing Development
 Land off Scotter Road, Messingham
 North Lincolnshire

Client:
 Mr. A.E. Swaby and Mr. D.M. Swaby

ADS Architectural Design Services (Scunthorpe) Ltd

3 Central Square
 Scunthorpe
 North Lincolnshire
 DN15 8LN
 TEL: 01724 85444
 EMAIL: ads.scun@btinternet.com

Date: September 2021
 Scale: 1:100 @ A1
 Drawn: A. Chaffings
 Drawing No: 1360.03
 Revision: -



SCOTTER ROAD

Works in connection with existing dyke to be agreed with the Local Authority.

Works in connection with existing dyke to be agreed with the Local Authority.

PA/2021/1034 Proposed dwellings (not to scale)

DC NOT SCALE FROM THIS DRAWING.

NOTES
 All materials, construction and details shown or implied by this drawing must comply with the current British Standards, Codes of Practice, Planning and Building Regulation requirements, Health and Safety Executive Legislation and the Client's particular specifications. Contrasting information shown or implied shall be referred to ADS (Scunthorpe) Ltd. This drawing is Copyright and the information contained within it is strictly confidential and may not be disclosed to third parties without the written permission of ADS (Scunthorpe) Ltd.

Revision	Date



STREET SCENE ELEVATION TO SCOTTER ROAD



SIDE ELEVATION



REAR ELEVATION



View on leaving Messingham



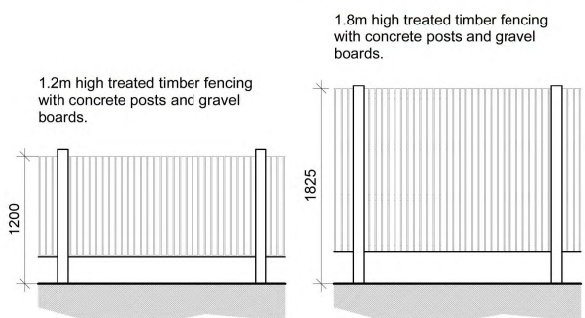
View on entering Messingham



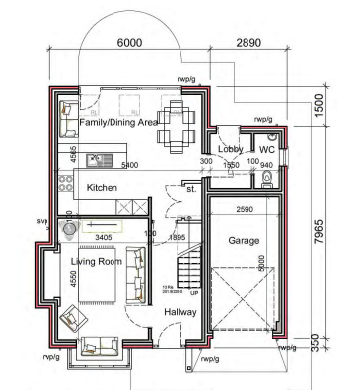
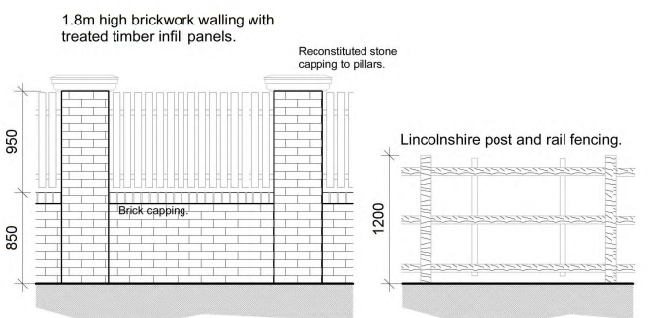
FRONT ELEVATION



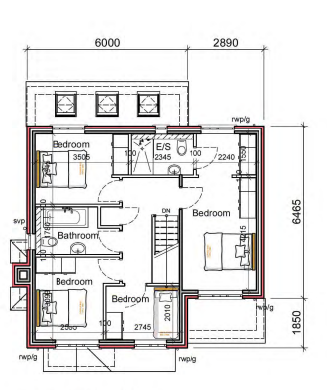
SIDE ELEVATION



BOUNDARY FENCING and WALLING DETAILS



GROUND FLOOR PLAN



FIRST FLOOR PLAN

Floor Plans Indicate Plots 1 and 4
 Plots 2, 3, 5 and 6 handed



View to the rear of Plots 1 - 3

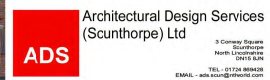


View to front of Plots 4 - 6

Proposed Dwellings

Project:
 Proposed Housing Development
 Land off Scotter Road, Messingham
 North Lincolnshire

Client:
 Mr. A.E. Swaby and Mr. D.M. Swaby



Date: May 2021
 Scale: 1:100 @ A1
 Drawn: A. Chaffings
 Drawing No: 1360.02
 Revision: -

PA/2021/1034 Proposed layout from outline (PA/2017/392) (not to scale)



PA/2017/392
DEVELOPMENT CONTROL SECTION
09 MAR 2017
DATE RECEIVED
Referred To

JEM MANAGEMENT SERVICES
45 Oswald Road
Scunthorpe
North Lincolnshire
DN15 7PN

client:
Mr A.E. & Mr D.M. Swaby
Land West of Scotter Road (A159), Messingham

project:
Proposed Residential Development

drawing title:
Proposed Block Plan

drawn by: NwP	date: 03.03.2017	scale: 1 / 500
drawing No: SW / 17 / 03		rev: