

APPLICATION NO	PA/2023/1749
APPLICANT	D Rhodes
DEVELOPMENT	Planning permission to erect an annexe
LOCATION	Amcotts Grange Cottage, access road to Amcotts Grange Cottage, Amcotts, DN17 3EZ
PARISH	Amcotts
WARD	Axholme North
CASE OFFICER	Jennifer Ashworth
SUMMARY RECOMMENDATION	Approve with conditions
REASONS FOR REFERENCE TO COMMITTEE	Departure from the development plan (Local Plan Policy RD10)

POLICIES

National Planning Policy Framework:

- 2 Achieving sustainable development
- 4 Decision-making
- 5 Delivering a sufficient supply of homes
- 9 Promoting sustainable transport
- 12 Achieving well-designed and beautiful places

North Lincolnshire Local Plan:

- DS1 General requirements
- DS5 Residential extensions
- RD2 Development in the open countryside
- RD10 Replacement, alteration and extensions to dwellings in the open countryside
- T2 Access to development
- T19 Car parking provision and standards
- DS14 Foul sewage and surface water drainage

North Lincolnshire Core Strategy:

CS1 Spatial strategy for North Lincolnshire

CS2 Delivering more sustainable development

CS3 Development limits

CS5 Delivering quality design in North Lincolnshire

Housing and Employment Land Allocations DPD: The site is within the open countryside, outside the development limits of Amcotts as shown on the Proposals Map, but within the residential curtilage of the host property.

PS1 Presumption in favour of sustainable development

Supplementary Planning Guidance:

SPG1 Design guidance for house extensions

New North Lincolnshire Local Plan Submission: The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until early 2024.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

SS1 Presumption in favour of sustainable development

SS2 A spatial strategy for North Lincolnshire

SS3 Development principles

SS11 Development limits

DM1 General requirements

CONSULTATIONS

Highways: No comments or objections.

LLFA Drainage: No objections, but an informative is recommended in relation to surface water drainage.

Environmental Protection: This application for residential development is a sensitive end use. It is recommended a screening assessment be submitted and a condition is recommended requiring a full site investigation if permission is granted.

PARISH COUNCIL

No comments received.

PUBLICITY

A site notice has been displayed; no responses have been received.

ASSESSMENT

Planning history/designations

PA/2007/0334: Planning permission to erect a two-storey rear extension – approved with conditions 30/03/2007

2/1979/0349: Erect private dog kennels – approved with conditions 09/08/1979

The site is within SFRA flood zone 2/3/(a).

The site is not within a conservation area and does not relate to a listed building. There are no tree preservation orders (TPOs) on the site.

Site characteristics/proposal

This application relates to an existing property – Amcotts Grange Cottage, access road to Amcotts Grange Cottage, Amcotts. The property comprises an existing two-storey detached dwelling; a rear two-storey extension was constructed in 2007. This application seeks to create an annexe within the rear garden of the existing property. The site is a good size with sufficient amenity space to the rear.

The site is in a countryside location within the residential curtilage of the existing property. The application is for a single-storey one-bedroom annexe. The application is made on a householder application form and the development is therefore ancillary to the main house.

The following considerations are relevant to this proposal:

- **principle of development**
- **residential amenity**
- **appearance/quality of design**
- **drainage**
- **flood risk**
- **highway safety**
- **contamination.**

Principle of development

The site is outside the development limits of Amcotts within the residential curtilage of the property. Being outside the development limits of a rural settlement, open countryside policies apply. Policy RD2 strictly controls development within the open countryside, but allows development which is for the replacement, alteration or extension of an existing dwelling.

The main issues in determining this application are character and appearance, residential amenity, highway and drainage matters.

Residential amenity

Saved policy DS5 of the North Lincolnshire Local Plan (2003) is concerned with residential extensions. It states that planning applications for residential extensions and the erection of garages, outbuildings, walls and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, overbearing impact or loss of privacy to adjacent dwellings. The proposals should also be sympathetic in design, scale and materials to the existing dwelling and its neighbours. Policy RD10 also seeks to ensure that dwellings as replaced, extended or altered will not adversely affect the amenity of local residents.

The site is within an existing residential area. The plots in this location are mixed in size, the application site having a good-sized garden in relation to the size of the property. The host property includes an existing two-storey rear extension. The annexe is proposed to the rear of the existing garden. The proposed annexe is set off the boundary with the neighbouring property to the south and will not include any windows in the southern elevation. Windows are proposed in the northern, north-western and south-eastern elevations at ground floor level which will overlook the existing garden. Three rooflights are proposed within the north-eastern elevation which will overlook the residential garden of the host property.

The annexe will share the garden space of the existing property and will be ancillary to the main house. The annexe is set off boundaries with neighbouring properties and is single-storey. It is not considered to lead to any significant amenity impacts. Patio doors are proposed to the front (north-eastern elevation) of the building which will overlook the existing garden.

The annexe is located to the north of the adjacent property and as such would not result in any loss of light or overshadowing impacts for the property to the rear – Grange Farm Cottage.

The design is considered appropriate and will not lead to any amenity impacts. In addition, it should be noted that no comments have been raised by adjoining neighbours objecting to the proposals.

Character/appearance/quality of design

Policies RD10, DS5 and CS5 are concerned with visual amenity, the former stating that proposals should be sympathetic in design, scale and materials. Policies DS5 and CS5 both seek to improve the quality of design across North Lincolnshire.

Policy RD10 relates to extensions to dwellings in the open countryside and development is permitted provided that the volume of the proposed extension or alteration does not exceed that of the original dwelling by 20%, exclusive of the normal permitted development rights, and the original dwelling forms the dominant visual feature of the dwelling as extended.

The original property has a volume of 416 cubic metres. The host property includes an existing two-storey rear extension with a volume of 64 cubic metres, which equates to 15% of the original property. The proposed development seeks a single-storey annexe with a volume of 222 cubic metres, which is a 53% increase on the original property, but taking into account the existing extension volume of 64 cubic metres this would result in a volume of

over 20% (286 cubic metres/68.75%). When taking into account the whole property, this equates to a 68.75% increase, which is 48.75% over the policy requirements of RD10.

Whilst the policy is relevant, each case should be taken on its own merits. The proposed annexe will form part of an existing residential property and is contained within the existing residential curtilage. The existing property is accessed via a private track and is not visible from the surrounding road network. The property has a good-sized garden and the development will be contained between existing properties, outbuildings etc, and impacts on the wider character of the area will be limited. The majority of the additional volume is within the first floor and roof space and has been carefully designed to consider neighbouring properties and this countryside location.

The proposals are considered to be designed to a high standard and will include an off-white self-coloured render for the walls, grey slate effect tiles for the roof, grey UPVC for windows and doors, and black uPVC rainwater goods. The host property includes an off-yellow render whilst the property to the south is finished in an off-white render. As such, the proposed materials are considered appropriate for the site and would be in keeping with this location.

The proposed works are considered to be sympathetic to the host property as well as the wider street scene and will not result in harm to the character of the area. It is considered that the proposal would align with policies RD10, DS5 and CS5.

Drainage

The LLFA Drainage team have not raised any concerns or objections regarding the proposals. They do recommend the inclusion of an informative.

Flood risk

The site is within SFRA flood zone 2/3 (a) tidal. Buildings used for dwelling houses are classed as 'More Vulnerable' within Annexe 3: Flood risk vulnerability classification (NPPF). The building is existing, is ancillary to the main house and is within the residential curtilage of the property.

The Flood Risk and Coastal Change Government Guidance document notes the site as minor development.

'Minor development means:

- alterations: development that does not increase the size of buildings, e.g. alterations to external appearance
- householder development: for example, sheds, garages, games rooms etc. within the curtilage of the existing dwelling, in addition to physical extensions to the existing dwelling itself. This definition excludes any proposed development that would create a separate dwelling within the curtilage of the existing dwelling (e.g. subdivision of houses into flats) or any other development with a purpose not incidental to the enjoyment of the dwelling.'

The Standing Advice (Flood Risk Assessment Standing Advice) provides advice for minor extensions in flood zone 2 or 3. A minor extension is a household or non-domestic extension with a floor space of no more than 250 square metres. It notes that a plan needs to be provided showing finished floor levels and estimated flood levels. It also notes that developers should make sure the floor levels are either no lower than existing floor levels or 300

millimetres above the estimated flood level. You will also need to use flood resistant materials up to at least 300 millimetres above the estimated flood level.

Further to discussions with the agent and having looked at the Standing Advice, the agent has updated the plans and confirmed that the internal floor level will be a minimum of 300 millimetres above the external ground level.

The agent has also confirmed that in the event of flooding an escape from the ground floor will be via the main double doors and escape compatible windows in the bedroom. These are all within very close proximity of all areas of the annexe, so escape will be swift with no obstructions. A condition is recommended to ensure these features are retained.

It is considered that the submitted information is sufficient in line with the standing advice for minor developments within flood zone 2/3a.

Highways

The Highways team has not raised any concerns regarding the proposals. There are no concerns in terms of highway safety given the proposal is to the rear of the property and is for a single-storey annexe.

Contamination

The Environmental Protection team has considered the proposal and notes that, being for residential development, it is a sensitive end use. The team recommends the inclusion of a condition requesting a phase one site investigation prior to the commencement of development. Given the site is an existing residential property and currently used as residential garage and garden space, it is considered unreasonable to include such a condition; instead a monitoring condition is recommended should permission be granted.

Conclusion

The proposal is acceptable in principle, is well designed and would not harm residential amenity. It is therefore recommended that planning permission be granted.

RECOMMENDATION Grant permission subject to the following conditions:

1.
The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.
The development hereby permitted shall be carried out in accordance with the following approved plans: Proposed Arrangements - 1842.01.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

4.

Prior to occupation and notwithstanding the hereby approved plans (condition 2 above), the finished internal floor level shall be set a minimum of 300mm above the external ground level, and escape compatible windows shall be installed in the bedroom and retained thereafter.

Reason

To protect users of the site from the risk of flooding in accordance with policies CS19 of the Core Strategy and DS16 of the North Lincolnshire Local Plan.

5.

The annexe hereby permitted shall not be occupied at any time other than for purposes ancillary to the residential use of the dwelling known as Amcotts Grange Cottage, access road to Amcotts Grange Cottage, Amcotts, DN17 3EZ.

Reason

To ensure that the additional accommodation is not severed from the main dwelling to provide a self-contained dwelling unit.

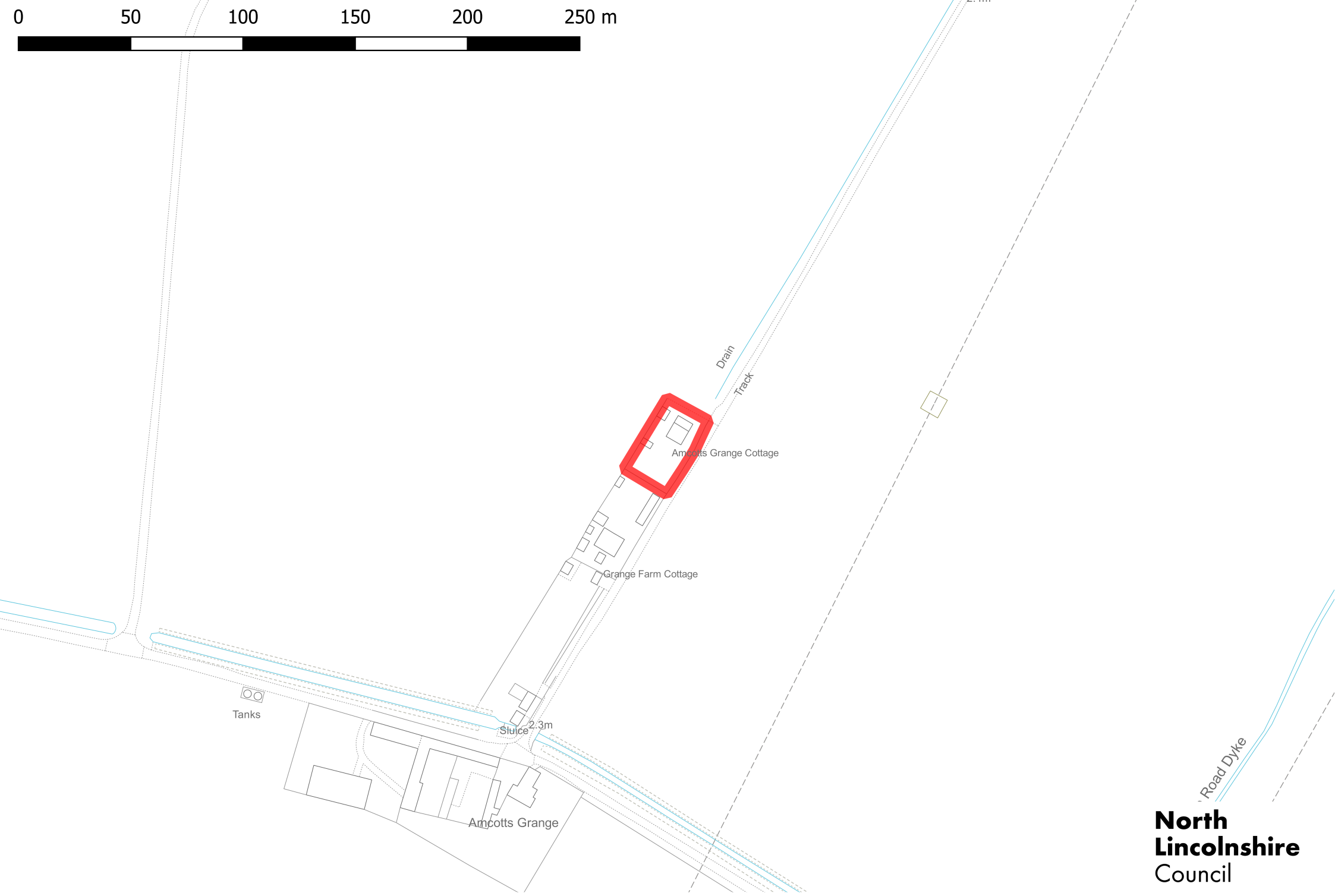
Informatives

1.

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

2.

The proposed development is classed as a more sensitive end use and therefore the LLFA Drainage team suggests you consider investigating the existing surface water drainage arrangements/layout for the development; further consideration may need to be given to upsizing the pipe network, thus increasing storage around your development to cater for more intense storm conditions. Although this is not a requirement in terms of surface water flood risk compliance, it would be good practice on your behalf to ensure an increased level of resilience for the development and its future occupiers.

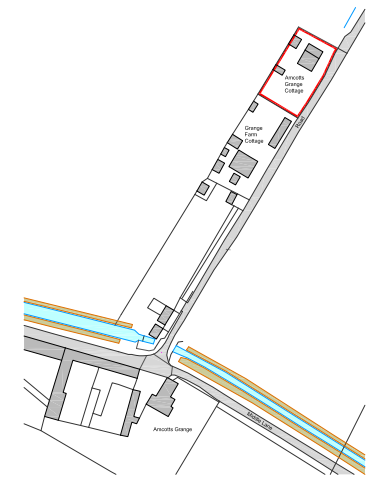
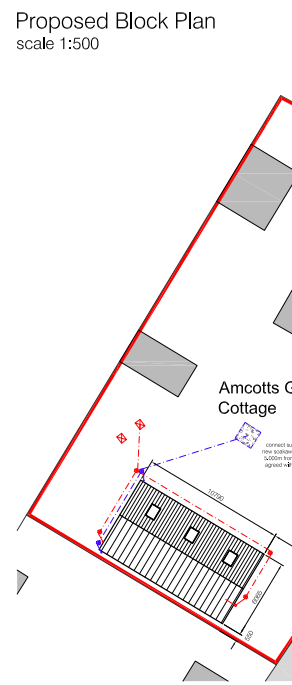
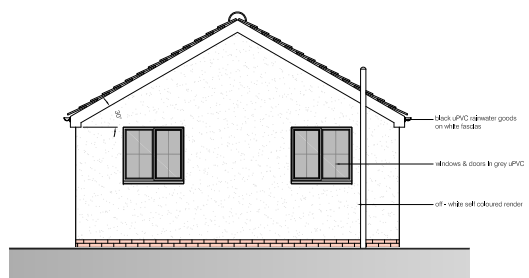
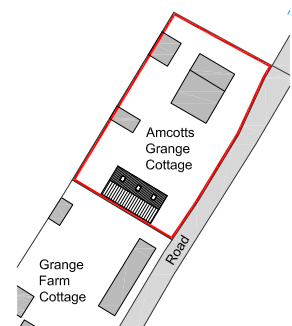
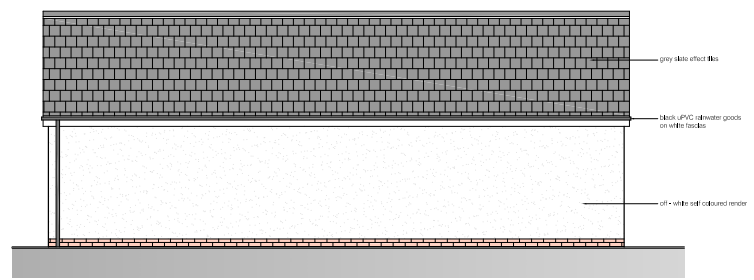
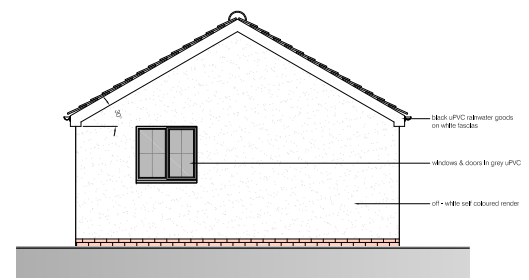
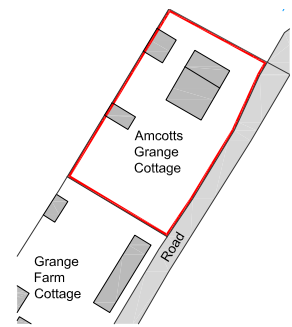


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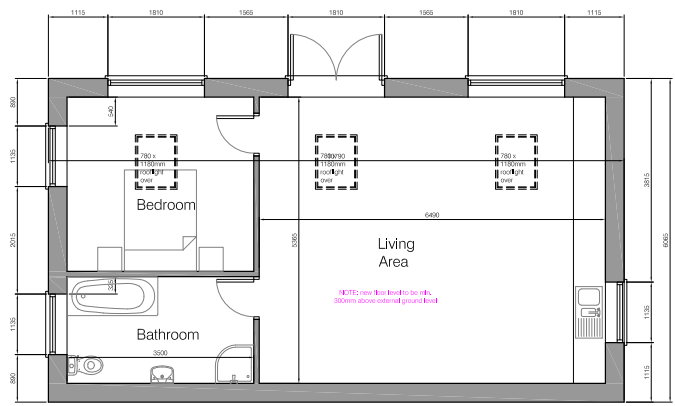
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PA/2023/1749 Proposed plans (not to scale)



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Do not scale from these drawings - if in doubt - ask.

All materials shall be fixed, applied or mixed in accordance with the manufacturers written instructions, recommendations and specifications. Variations to specified materials shall be agreed in writing with keystonearchitecture.

The Contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the Local Authority, whether or not indicated on the drawings or in the specifications.

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PARTY WALL NOTICES

Building astride (A) or against (B) the boundary line:

If you plan to build a party wall astride or against the boundary line, you must inform the Adjoining Owner by serving a Notice.

Excavating near neighbouring buildings:

If you plan to excavate foundations within 3 metres of a neighbouring building or structure, where the excavation will go deeper than the neighbour's foundations, you must inform the Adjoining Owner by serving a Notice.

If you plan to excavate foundations within 6 metres of a neighbouring building or structure, where the excavation will cut a line drawn at 45° from the bottom of the neighbour's foundations, you must inform the Adjoining Owner by serving a Notice.

NOT FOR CONSTRUCTION