

APPLICATION NO	PA/2022/2059
APPLICANT	Mr Mark Wall, NPP Properties Ltd
DEVELOPMENT	Listed building consent for the erection of a single-storey rear extension together with necessary ancillary works for conversion of Grade II listed dovecote/stables and carriage house to residential use (Use Class C3)
LOCATION	Tetley House, Tetley, Crowle, DN17 4HY
PARISH	CROWLE
WARD	Axholme North
CASE OFFICER	Scott Jackson
SUMMARY RECOMMENDATION	Approve with conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Crowle Town Council

POLICIES

National Planning Policy Framework:

- 5 Delivering a sufficient supply of homes
- 12 Achieving well-designed and beautiful places
- 16 Conserving and enhancing the historic environment

North Lincolnshire Local Plan:

- DS1 General requirements
- RD2 Development in the open countryside
- RD9 Reuse and/or adaptation of rural buildings for residential use in the open countryside
- HE5 Development affecting listed buildings
- H5 New housing development
- T2 Access to development
- T19 Car parking provision and standards

North Lincolnshire Core Strategy:

- CS1 Spatial strategy for North Lincolnshire

CS2 Delivering more sustainable development

CS3 Development limits

CS5 Delivering quality design in North Lincolnshire

CS6 Historic environment

CS7 Overall housing provision

New North Lincolnshire Local Plan Submission: The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions were not anticipated until late 2024.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

SS1 Presumption in favour of sustainable development

SS2 A spatial strategy for North Lincolnshire

SS3 Development principles

SS5 Overall housing provision

SS11 Development limits

DM1 General requirements

TC2 Placemaking and good urban design

RD1 Supporting sustainable development in the countryside

HE1 Conserving and enhancing the historic environment

CONSULTATIONS

Highways: No objection or comments.

LLFA Drainage: No objection or comments.

Archaeology: Objection – the change of use and proposed alterations would result in a high level of harm to the significance of these two listed buildings, notably the architectural, historic and archaeological interests of these non-domestic buildings. A programme of archaeological monitoring and recording should be undertaken during all groundworks to offset the harm to any archaeological remains that may be disturbed or destroyed by construction.

A written scheme of investigation (WSI) detailing the outstanding historic building recording, and the archaeological work to be undertaken should be submitted prior to determination of the planning application. Should the planning authority consider the proposals do not conflict with relevant conservation legislation and policy and be minded to grant consent, any

permission should be subject to conditions securing a programme of archaeological and historic building recording prior to and during any construction work.

Conservation: The existing buildings are in a considerable state of disrepair, and it is not viable to return them to their historic use given the separation from the dwelling these buildings were associated with. Conversion to residential will secure their future and enable the repairs and works required to secure the fabric of the building; this will come at the cost of the adaptation required to the buildings to achieve this from which there will be some minor harm to the significance of the building through physical alterations.

Proposed elevations – the principle of the extension is acceptable, and the amendment to include a green roof is welcomed over the previous iteration, as is the change from timber piers to brick reclaimed from site. It will have a modern appearance, however it will sit sympathetically against the pair of listed buildings.

New red pantiles are proposed for roof coverings, which is acceptable. Original copings will be consolidated and used in one location, and new copings to match elsewhere, providing a consistency to the finished appearance, is also acceptable. The rooflight will be inserted into a new roof structure; there is no loss of historic fabric and this will have limited impact. Details has been provided and these are acceptable without further information required.

Rainwater goods are noted on newly revised plans to be a cast aluminium variety which will ensure an appropriate appearance on the building – cast is required to minimise the number of sections which would be unsightly. A condition is required to provide further details of these prior to installation.

Proposed floor plans – there will be minor intervention into historic fabric to create openings into and out of the new extension, a minor level of harm balanced by securing the future of the building. Surviving flag stones on the floor surfaces will be consolidated and re-used. New floors will be required, and it is intended the walls will be insulated and plaster-boarded, which will result in a modern finish at odds with the historic character of these buildings and is a harmful change. The adaptation is necessary and the loss of character, which will be minor–moderate, should be judged against the public benefit of repairing the building and providing it a new use.

Areas of lath and plaster ceiling were noted on the site visit. It is noted that where these are repairable, they will be retained on the floor plan drawings. Within the setting of the building a wall is now proposed to bound the site, to be of reclaimed brick; this is acceptable subject to a condition for a sample panel of the brickwork to show pointing etc to ensure integrity of the design in the setting of the listed buildings. The lime mortar mix noted in the Design and Access Statement is appropriate and acceptable.

A solid fuel stove will be located to run the ventilation through an existing chimney and will not protrude beyond it, and as such will have no heritage impact.

The applicant has updated window details with the intended manufacturer to change the proposed windows from having applied glazing bars to having solid glazing bars, but otherwise mostly unchanged. This change is a small but important detail to create architectural integrity within the overall scheme of works at this property. The provision of the solid bar section detail is sufficient, in conjunction with the joinery schedule/quotation, to not require further planning conditions regarding the new windows/doors in this scheme.

Ecology: Works would result in harm to bat roosts. Consent can only be given if sufficient evidence is presented that the tests of European Protected Species (EPS) licensing are met.

Planning conditions are proposed to minimise harm to protected and priority species.

Hopefully, a net gain in biodiversity will be delivered through the biodiversity management plan submitted for PA/2019/930.

TOWN COUNCIL

This council objects on the grounds that the original condition on this application, which stated the renovations of the Dovecote/stables and carriage house was to be carried out before building the new builds, has been disregarded. This building, standing from 1718, is a historic building for the Hamlet of Tetley, the loss of which would be detrimental to the area.

The original objection to this application is reiterated and stands. The loss of heritage and the applicant's previous refusal to adhere to the restrictions of the last application, and clear evidence that works have already commenced, show blatant disregard for the planning process and failure to comply with the terms of the previous instructions.

PUBLICITY

A site notice has been displayed and two responses have been received objecting to the proposals and raising the following issues:

- informed by the owners these buildings would never be converted to residential use
- impact of additional traffic
- we were promised an executive gated community
- overlooking of neighbouring property
- domineering impact
- all windows are facing towards the objector's dwelling
- property not in keeping with existing and planned properties
- the existing properties are characterised by large plots with spacing in between
- cramming in of development and small dwelling
- no safe access to the site
- impact on pedestrian and highway safety
- insufficient off-street parking and turning provision
- increased level of flood risk which needs to be mitigated
- the existing buildings may contain asbestos.

ASSESSMENT

Planning history

- PA/2023/1559: Application to vary condition 3 of PA/2019/930 dated 23/10/2020 to read 'Prior to the occupation of the dwelling marked as plot 1' – approved with conditions 08/12/2023
- PA/2019/930: Planning permission to erect a replacement dwelling and two detached dwellings – approved with conditions 23/10/2020.
- PA/2019/1028: Listed building consent to repair and refurbish carriage house and stable/dovecote – approved with conditions 04/08/2022.
- PA/2023/1629: Application for a non-material amendment to PA/2019/930 dated 23/10/2020 namely to alter condition 7 as per the submitted Planning Statement dated 03 October 2023 – approved 13/10/2023
- PA/2021/2061: Planning permission to remove condition 13 of PA/2019/930 relating to ecology and biodiversity – approved with conditions 09/06/2022.

The application site comprises two listed buildings within the grounds of the listed building known as Tetley Hall. The two buildings are two-storey in height, are grade II listed and are linked by a wall in a north to south direction. The buildings are located to the south-east of Tetley Hall, in the open countryside, to the west of two modern residential properties. The buildings are in a visible state of disrepair and are constructed from red brick with red pantiles (Dovecote) and red brick with corrugated metal sheeted roof (Carriage house). Listed building consent is sought to repair and refurbish these listed buildings, together with a single-storey extension and other external alterations, to convert it to residential use.

The main issue in the determination of this application is the impact on the setting and character of the listed buildings.

Listed buildings

As noted above, listed building consent is sought to undertake works and extend between two listed buildings to convert them into a two-bedroomed dwelling. The buildings are grade II and listed building consent has previously been granted for a scheme of restoration and repair work under PA/2019/1028, which was in conjunction with the erection of two additional dwellings on the land to the south. The plans show the buildings have a number of existing openings which are to be utilised and the extension is proposed along the eastern side (where the existing wall links the two buildings) which will provide additional ground floor accommodation in the form of a kitchen and utility. In terms of the roof to each of the buildings, it is proposed to remove the existing roof coverings (which consists of pantiles and a corrugated metal roof) and replace them with a new clay pantile. It is also proposed to install a single rooflight in the northern-facing roof slope of the Dovecote, this is considered proportionate to the size of the roof slope, it will allow the roof slope and covering (albeit with a new pantile) to remain visually predominant (particularly as it is on the northern-facing roof slope) and it ensures minimal intervention into the roof. In addition, it will be inserted into a roof slope which will have some new A-frame roof trusses underneath and a new roof tile.

It is worth noting the buildings are in a bad state of disrepair. This was observed in the Structural Report submitted with the previous planning applications in 2019 (referred to as

the Capstone Report) which put forward a number of recommendations as part of an overall scheme for repair and restoration of these listed buildings (as part of enabling development). The works identified to be undertaken to these listed buildings within the Structural Survey consist of a number of structural improvements that are not limited to removing unsafe materials, to underpin and tie together the walls, consolidation of brickwork, addressing significant open cracks in walls, new floor joists and ground floor slab, installation of staircases and plasterwork and electrics throughout, and the replacement of window and door lintels and installation of new windows and doors.

In addition, the report does highlight there is asbestos within the corrugated roof sheets in the Carriage House; these will be removed via a licensed contractor. This will be regulated via the Control of Asbestos Regulations 2012 and planning should assume that separate pollution control regimes will operate effectively. This is consistent with paragraph 194 of the National Planning Policy Framework (NPPF).

It is noted the works outlined in the structural report are somewhat extensive in number and coverage, however they are also considered necessary and reasonable to bring these grade II listed buildings into a condition which results in them becoming functional and to secure the long-term future of these buildings. This application uses that report as a basis for reinforcing the extent of works necessary to convert the listed buildings for residential use and that approach is considered acceptable in principle by the conservation officer. In addition, the conservation officer, in their most recent consultation response, highlights the buildings are in a considerable state of disrepair and it is not viable to return them to their historic use (ancillary buildings within the curtilage of Tetley Hall). Conversion to residential will secure the future of these listed buildings which will result in some minor harm to the significance of the listed building.

Turning to the proposals, the most significant of these is the addition of a single-storey extension to the side which will be both functional (by linking the two listed buildings together) and will provide a modern, contrasting addition that appears subservient in scale, height and size. It has a flat-roof design, which is not ideal in visual amenity terms; however, it does ensure the height of the extension is kept lower and allows the two listed buildings and their external features to remain visually predominant and be appreciated. The flat roof will have a 'green roof' design which, when established, will help to screen its flat profile, and it is considered it will sympathetically assimilate between the pair of listed buildings and will not intercept any key views associated with their setting. It is noted the extension will project from the side elevation of the Dovecote (on its eastern side) and to the north of the Carriage house; however, the plans show this extension will not cut across any existing features or openings within the listed buildings and this allows for those existing openings to be utilised to serve ground floor habitable rooms. The plans show the walls of the extension along its visible elevations (to the north and east) will be constructed from a mix of large expanses of glass interspersed with a reclaimed brick; this will ensure some visual assimilation with the two listed buildings and provide some modernity element to its appearance. Overall, the plans show (with the exception of the replacement roof) there will be minimum intervention into the historic fabric of the listed buildings externally, the vast majority of existing openings being utilised to serve the residential accommodation proposed within. On this basis, the opinion of the conservation officer is that there will be a minor level of harm which is balanced out by securing the future of the listed buildings.

Internally, the supporting plans and information states the existing flag stones will be retained and re-used and, where new floors and walls are required, will result in modern finishes (which are at odds with the historic character of these buildings); however, in the opinion of

the local planning authority, these are necessary adaptations to the buildings if they are to be preserved and converted for residential use, thereby securing the long-term future of two buildings which are in a visible state of disrepair. The applicant has also provided details of the windows and glazing bars which show the provision of a solid bar section; this, together with the joinery schedule which has been submitted, are considered to be appropriate for use in the listed buildings, and as such will be conditioned in that regard (if listed building consent is granted).

Conditions are recommended by the Conservation Officer which requires details of the proposed external materials of construction (including rainwater goods and a sample panel of brickwork for the proposed low boundary wall) to be submitted for consideration. The imposition of such conditions would allow the local planning authority to ensure the materials and finishes of all external facing fittings preserve and enhance the listed buildings and are sympathetic to their setting and fabric.

The objection from the Historic Environment Record (HER) is noted. However, although it is considered the proposed development will result in some minor harm to the significance of these listed buildings, such harm is considered to be outweighed by the public benefits of the proposals, which include the preservation of the two listed buildings, the repair and restoration of these buildings and providing them with a long-term use. Notwithstanding this, the conditions recommended by the Historic Environment Record (for the historical building record to be undertaken in accordance with the archaeological mitigation strategy) are considered to be appropriate in this case. Such conditions would provide an accurate photographic record of the building prior, during and after the works, and given the historic sensitivity of the area and the assets concerned, the recommended conditions are both reasonable and necessary.

Given the recommendations of the structural report, that the works are necessary and will secure the long-term retention of the listed buildings (albeit for a different use) and the lack of an objection from the Conservation Officer, it is considered the proposed works will preserve and enhance the setting and fabric of the Stable/Granary and Carriage house and as such listed building consent is recommended in this case.

Other issues

The consultation response from the council's ecologist and its contents are noted in respect of an European Protected Species licence being required for any works to a building which may contain protected and priority species. However, this is an application for listed building consent which considers the impact on heritage aspects under the Planning (Listed Buildings and Conservation Areas) Act 1990 and the ecological matters will be assessed under the separate planning application PA/2022/2017 (which is considered alongside this application). It is considered, therefore, there is no requirement to duplicate any assessment of protected species in this regard.

Pre-commencement conditions

No pre-commencement conditions are proposed.

RECOMMENDATION Grant consent subject to the following conditions:

1. The works must be begun before the expiration of three years from the date of this consent.

Reason

To comply with Section 18(1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

- 1045 1 of 7 (Existing Elevations A & C)
- 1045 2 of 7 (Existing Elevations B & D)
- 1045 3 of 7 (Existing Floor Plan)
- 1045 4 of 7 (Proposed Floor Plans D7)
- 1045 5 of 7 (Proposed Elevations D7)
- 1045 7 of 7 (Location and Block Plans)
- DRWG/PA/2022/2059/30.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

The development hereby permitted shall be undertaken using the schedule of materials and mortar mix (excluding the rainwater goods) stated in the design and access statement, the windows and doors schedule in the quotation from G Empson & Sons dated 13 November 2023 and the window bar detailing shown on drawing DRWG/PA/2022/2059/30. The development shall take place in accordance with the agreed materials/details and once constructed it shall thereafter be retained.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, in accordance with policy DS1 of the North Lincolnshire Local Plan.

4.

No above-ground works shall take place until details of all rainwater goods and external finishes, and a sample panel of the proposed brick wall, have been submitted to the local planning authority and agreed in writing, and only the approved materials shall be used.

Reason

To retain the character of the listed building in accordance with policy HE5 of the North Lincolnshire Local Plan.

5.

The development hereby permitted shall be in accordance with the Historic Building Record of the listed buildings as set out in the approved Archaeological Mitigation Strategy dated 14 November 2020. In addition, archaeological monitoring shall be extended to include the below-ground construction of the approved extension and associated construction works. The historic building recording shall be carried out in accordance with the approved details and timings.

Reason

To comply with paragraph 205 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan as the buildings are a

heritage asset of local historic value that form part of a group of historic buildings. Demolition will result in the loss of historically significant evidence; the proposed historic building record will ensure that such evidence is appropriately recorded and a permanent archive created.

6.

The historic building and archaeological report and archive shall be deposited at the North Lincolnshire Historic Environment Record within six months of the date of commencement of the development hereby approved by this permission or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with paragraph 205 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policies HE9 of the North Lincolnshire Local Plan because historic buildings will be demolished and archaeologically significant remains may be destroyed during construction groundwork; the proposed recording will ensure that these heritage assets are appropriately recorded and a permanent archive created.

7.

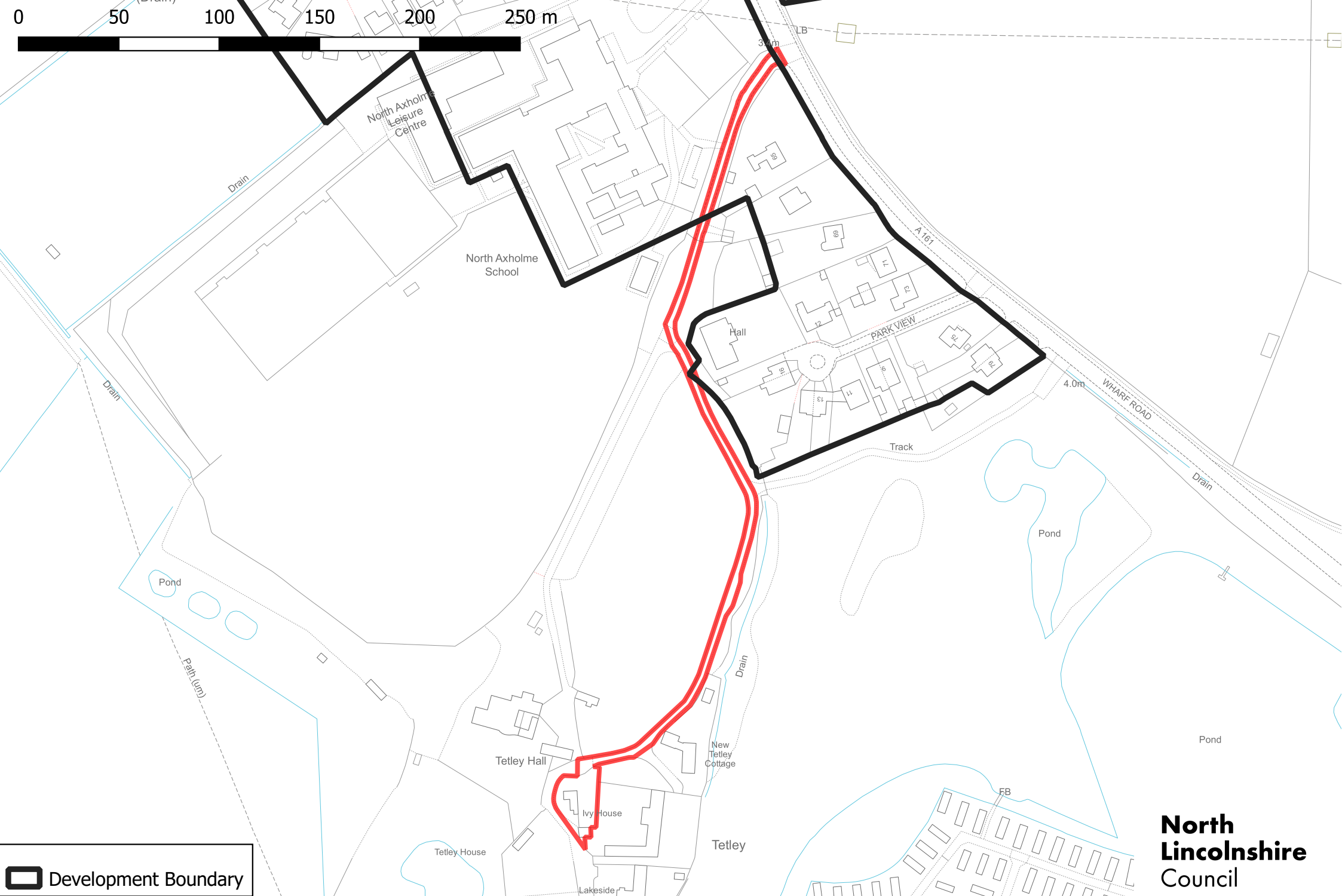
The development hereby permitted shall take place in strict accordance with all of the works recommended within the Structural Survey (Capstone, October 2017) to the Stable (and Dovecote) and Carriage House and once completed shall thereafter be retained. The applicant must evidence these works through both written documentation and photomontage, and this is to be agreed in writing with the local planning authority.

Reason

In the interest of the historic environment and to align with the terms of this listed building consent, in accordance with policies CS6 of the Core Strategy and HE5 of the North Lincolnshire Local Plan.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



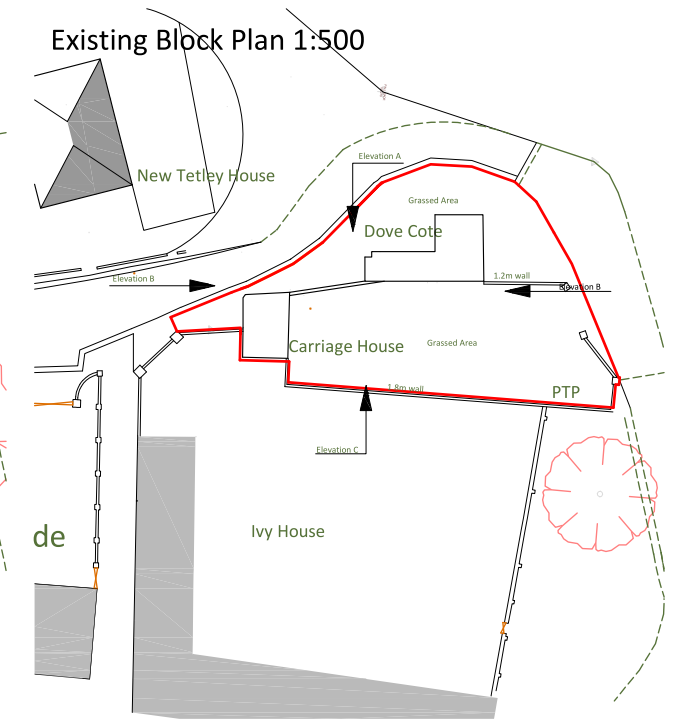
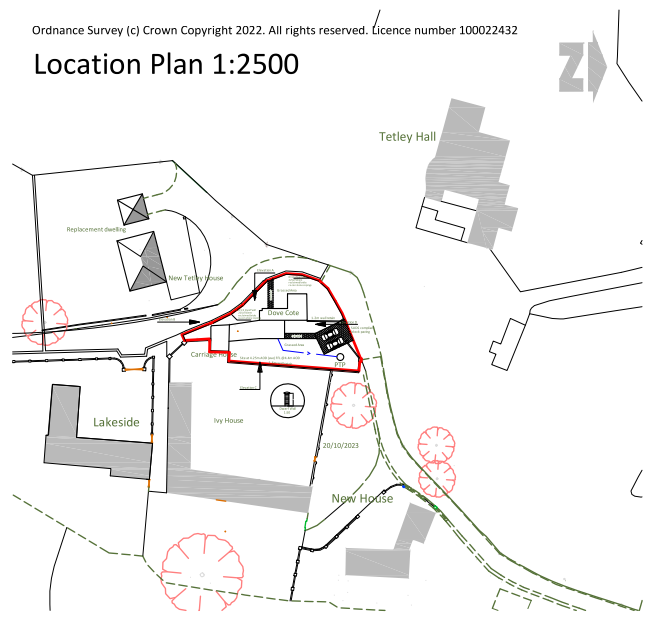
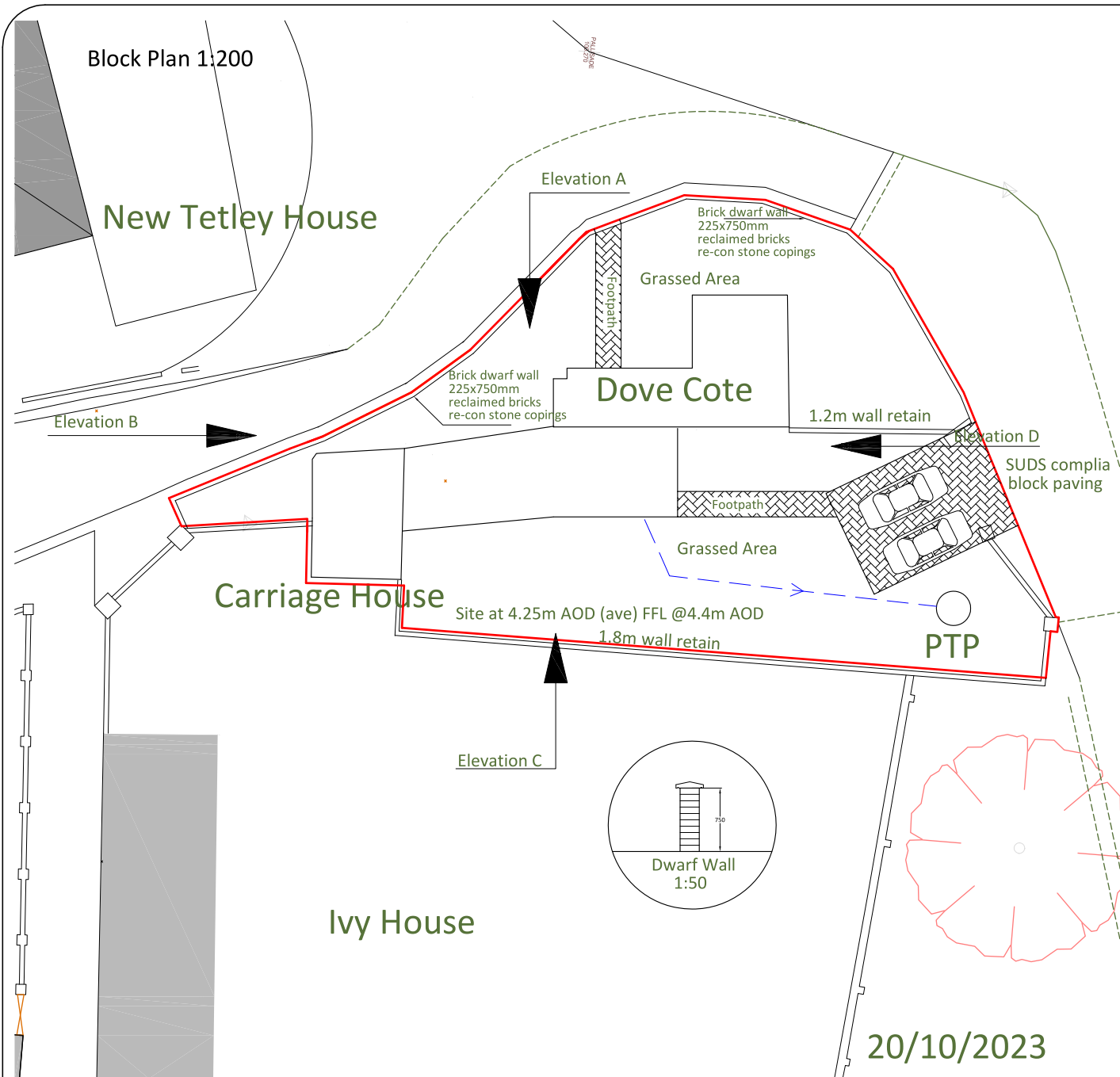
 Development Boundary

PA/2022/2059

**North
Lincolnshire
Council**

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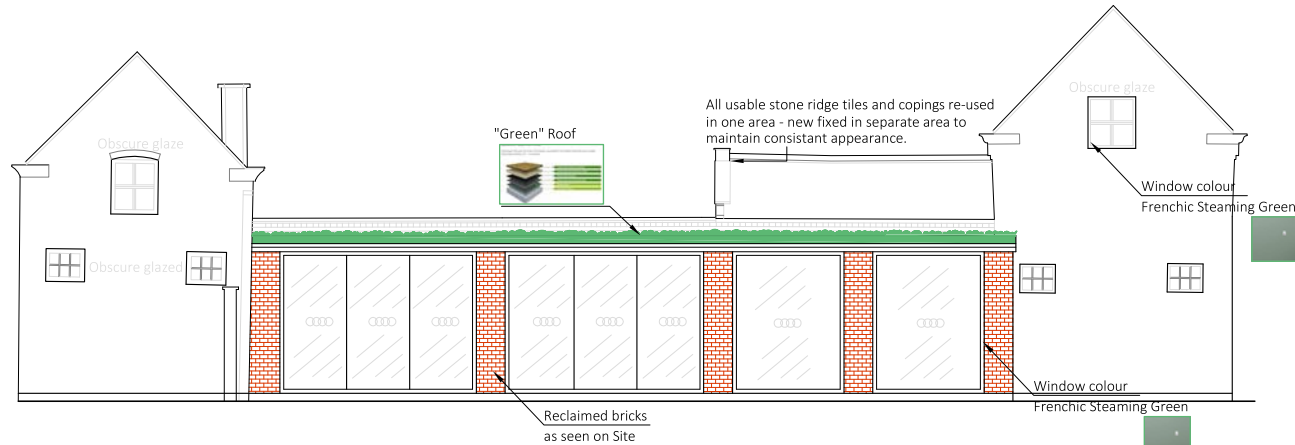
PA/2022/2059 Proposed layout (not to scale)



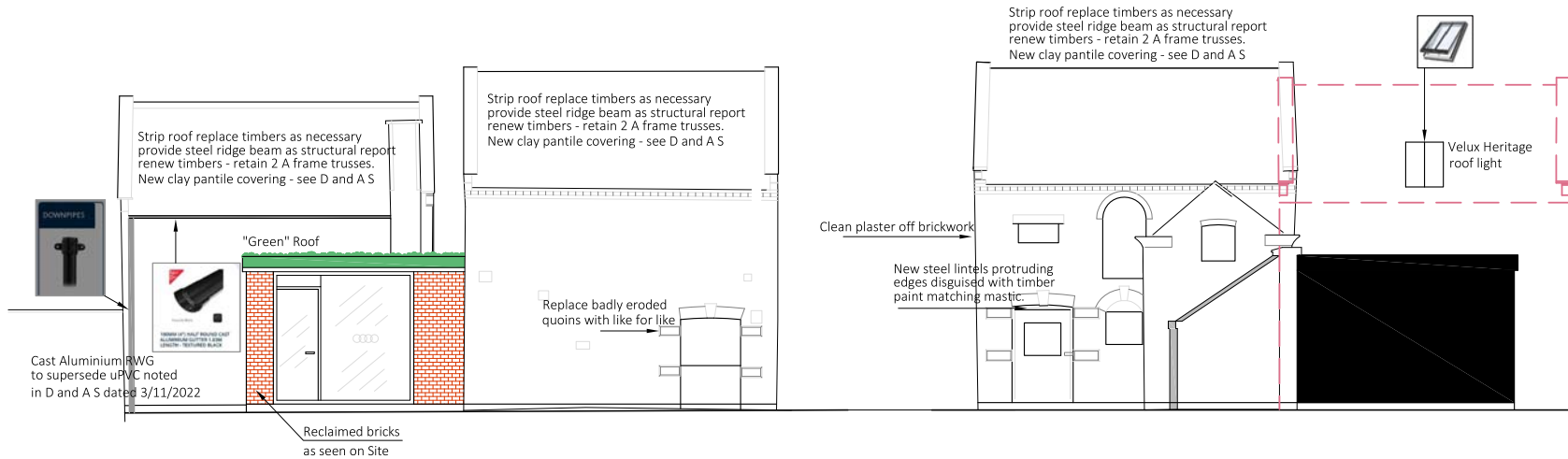
Howard J Wroot BSc MRICS Chartered Surveyor 240 Wharf Road, Ealand Scunthorpe DN17 4JN	Tel 01724 711068 Fax 01724 710174 Mob 07947 226577	Client	NPP Properties Ltd			Proposal	Dovecote & Carriage House conversion at Tetley, Crowle DN17 4HJ
		Date	7/8/23	Dwg No	7 of 7		
		Scale	As noted	Ref No	1045	Drawing	Location and Block Plans



PA/2022/2059 Proposed elevations (not to scale)



ELEVATION C



ELEVATION D

ELEVATION B

13/11/2023

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Chartered Surveyor
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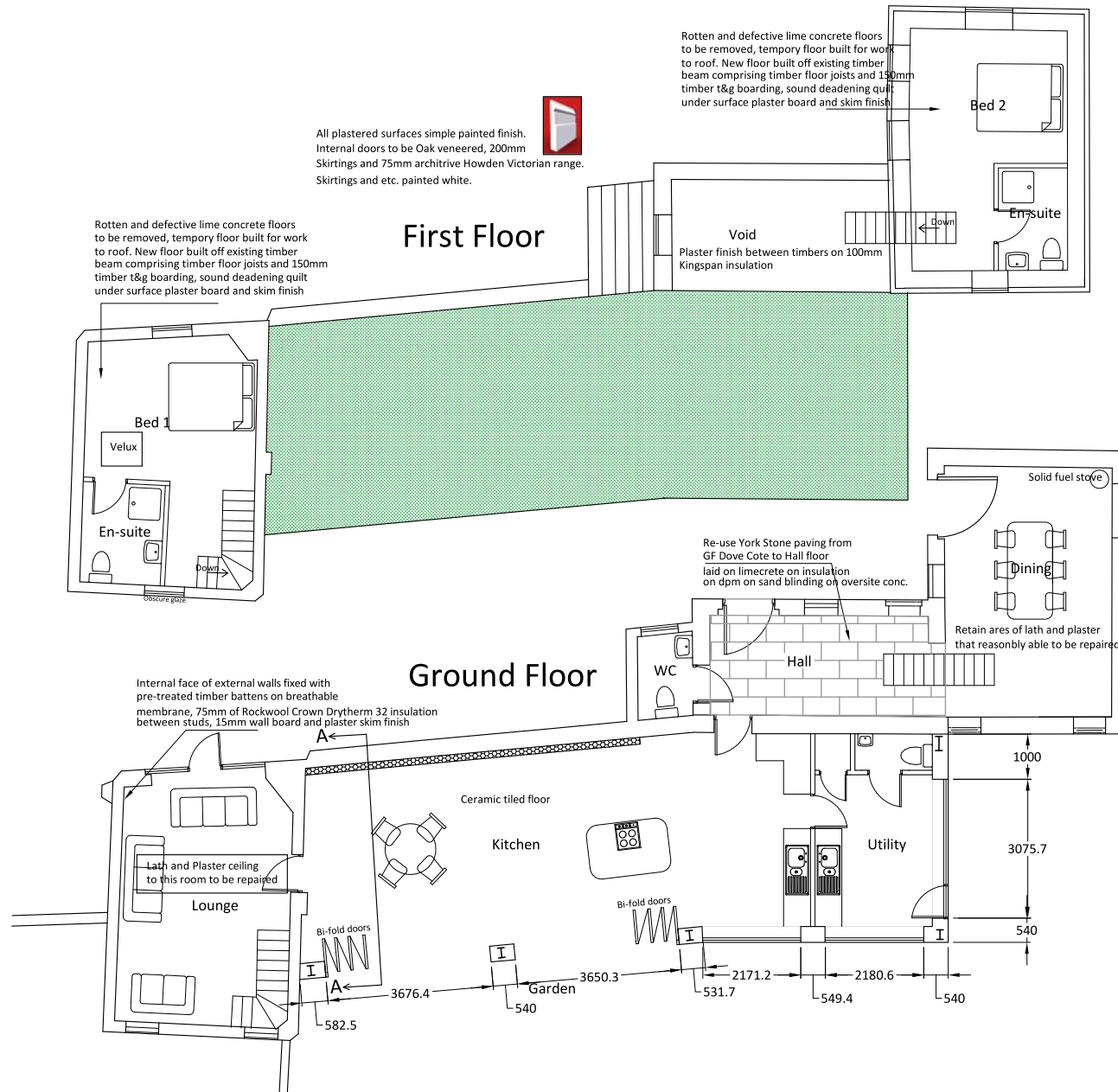
Client	NPP Properties		
Date	5/10/23	Dwg No	5 of 7
Scale	1:100	Ref No	1045

Proposal
Drawing

Dovecote and Carriage House conversion at
Tetley, Crowle, DN17 4HJ
Proposed Elevations D 7



PA/2022/2059 Proposed floor plans (not to scale)



13/11/2023

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240 Wharf Road, Ealand
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Client	NPP Properties		
Date	5/10/23	Dwg No	4 of 7
Scale	1:100	Ref No	1045

Proposal	Dovecote and Carriage House conversion at Tetley, Crowle, DN17 4HJ
Drawing	Proposed Floor Plans D 7

