

<b>APPLICATION NO</b>	<b>PA/2023/1583</b>
<b>APPLICANT</b>	J G Green & Sons
<b>DEVELOPMENT</b>	Hybrid application comprising full planning permission to partially demolish, rebuild and convert existing farm buildings to form 3 new dwellings with new access, and outline planning permission to erect 4 new dwellings with new access (access, appearance, landscaping, layout and scale reserved for subsequent consideration)
<b>LOCATION</b>	Whaplate Farm, West View, Messingham, DN17 3PF
<b>PARISH</b>	<b>MESSINGHAM</b>
<b>WARD</b>	Messingham
<b>CASE OFFICER</b>	Daniel Puttick
<b>SUMMARY RECOMMENDATION</b>	<b>Approve with conditions: full planning permission to partially demolish, rebuild and convert existing farm buildings to form 3 new dwellings with new access; and outline planning permission to erect 4 new dwellings with new access (access, appearance, landscaping, layout and scale reserved for subsequent consideration)</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Member 'call-in' (Cllr Neil Poole – significant public interest)

## **POLICIES**

### **National Planning Policy Framework:**

- 2 Achieving sustainable development
- 4 Decision-making
- 5 Delivering a sufficient supply of homes
- 8 Promoting healthy and safe communities
- 9 Promoting sustainable transport
- 11 Making effective use of land
- 12 Achieving well-designed and beautiful places
- 14 Meeting the challenge of climate change
- 16 Conserving and enhancing the historic environment

### **North Lincolnshire Local Plan:**

T2 Access to development

T19 Car parking provision and standards

DS1 General requirements

DS14 Foul sewage and surface water drainage

DS16 Flood risk

H5 (Part saved) New housing development

H8 Housing design and housing mix

HE9 Archaeological excavation

### **North Lincolnshire Core Strategy:**

CS1 Spatial strategy for North Lincolnshire

CS2 Delivering more sustainable development

CS3 Development limits

CS5 Delivering quality design in North Lincolnshire

CS6 Historic environment

CS7 Overall housing distribution

CS8 Spatial distribution of housing sites

CS17 Biodiversity

CS18 Sustainable resource use and climate change

CS19 Flood risk

CS25 Promoting sustainable transport

### **Housing and Employment Land Allocations DPD:**

Settlement boundary for Messingham

**New North Lincolnshire Local Plan Submission:** The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until later in 2024.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

SS1 Presumption in favour of sustainable development

SS2 Spatial strategy for North Lincolnshire

SS3 Development principles

SS5 Overall housing provision

SS6 Spatial distribution of housing sites

SS11 Development limits

H2 Housing mix and density

DQE1 Protection of landscape, townscape and views

DQE3 Biodiversity and geodiversity

DQE5 Managing flood risk

DQE6 Sustainable drainage systems

T1 Promoting sustainable transport

T3 New development and transport

DM1 General requirements

HE1 Conserving and enhancing the historic environment

## **CONSULTATIONS**

**Highways:** We have reviewed the information submitted in support of the above application. It is unclear from the information provided whether the access road to the development, and also the footway link to Hewson Street, are to remain private or be offered up for adoption. We have therefore recommended conditions that apply to both options. It is generally accepted that private drives should provide access to no more than five dwellings which are wholly served by the private drive. We would advise that conditions should be applied to any permission that you may be minded to grant, including securing details of carriageway widening on West View.

**Environmental Protection:** Conditions are recommended to secure the undertaking of land contamination studies, an asbestos survey and to control asbestos disposal. Conditions are also recommended to control construction working hours and secure the submission of a construction environmental management plan.

**LLFA Drainage:** Following the submission of an Outline Sustainable Drainage Strategy, previous concerns regarding surface water drainage and an objection made on these grounds has been removed, subject to the imposition of planning conditions.

**Archaeology:** The farm buildings are non-designated heritage assets recorded on the HER and the applicant has submitted an appropriate heritage statement. The farm buildings form part of an historic farmstead dating from the early–mid 19th century with potentially earlier origins and are of local historic value contributing to the character of the village. The buildings

are in poor condition overall and the proposals will conserve some of their historic significance. Partial demolition and the additional loss of historic evidence during conversion and rebuilding should be weighed in the planning balance in accordance with paragraph 203 of the NPPF. The application also lies within an area where archaeological remains of prehistoric and Roman date can be anticipated. There are no objections subject to securing a programme of historic building recording of the traditional farm buildings prior to and during any demolition or alterations taking place, and of archaeological monitoring and recording to be undertaken during all groundworks within the development.

**Spatial Planning:** This application for residential development conforms with policy; consideration has been given to the non-designated heritage asset.

## **PARISH COUNCIL**

No objections subject to confirmation of an acceptable drainage and surface water plan to address the existing foul water issues in the area.

## **PUBLICITY**

Advertised by site and press notice. Nine letters of objection have been received. Some of these raise concerns about the lack of written notification to local residents. The following is a summary of the material considerations raised:

- The existing access onto West View is unsafe and vehicles travelling along West View do so in excess of the speed limit.
- Protected species of wildlife would be affected.
- The proposed footpath would run directly behind rear gardens presenting a security risk in a village where crime rates are high.
- The proposed development would lead to overlooking and loss of privacy for occupants of existing properties.
- Bungalows would be more fitting for the area, matching bungalows which already surround the site.
- There are issues with parking in the local area near to the site. More cars will lead to congestion. Some residents use part of the application site for car parking and have done for 10 years or more.
- The land on Butterwick Road where one of the bungalows is proposed to be constructed has an electric pylon.

Comments made in relation to the loss of views and perceived negative impact of the development on the value of homeowner's property are not material planning considerations and are private interests which cannot be afforded any weight in the determination of this planning application.

## **ASSESSMENT**

### **Planning history**

There is no planning history.

### **Site characteristics**

The application site comprises farm buildings and land at Whaplate Farm on the western edge of Messingham. The site is within the development limits of the settlement, and is situated at the junction between West View and Butterwick Road, a short walk from the centre of the village.

The proposed development concerns the conversion of existing farm buildings. The proposal relates to the U-shaped group of buildings at the northern end of the site, which are of brick construction and in need of repair. The site incorporates the existing building to the east of the farmhouse, which is excluded from the development.

The site is bounded by existing housing to the north, east and south. Open agricultural fields lie beyond West View to the east.

The application site is with flood zone 1. Existing power infrastructure is situated within the grassed area to the immediate west of 46 Butterwick Road. There are no other known constraints.

### **Proposal**

The application is submitted in hybrid form and comprises elements seeking outline and full planning permission respectively. Full planning permission is sought to convert existing farm buildings at the site to provide three dwellings, with outline planning permission sought to demolish existing buildings and construct four detached properties within the site.

The full planning application comprises the conversion, involving some localised rebuilding, of the existing farm buildings to create three properties with central gardens to units 1 and 2 and a side garden to unit 3.

Unit 1 would feature two bedrooms, with an open-plan kitchen, living and dining area, whilst unit 2 would feature two bedrooms, an open-plan kitchen, living and dining area, and utility room with separate WC.

Unit 3 would have accommodation over two floors comprising open-plan kitchen, dining and living area with utility, WC and snug at ground-floor level, and three bedrooms at first-floor level. The internal arrangement would involve a central stairwell void with bridge over, retaining floor to ceiling headspace within the entrance vestibule.

Parking would be provided for six vehicles, with a new boundary treatment providing enclosure to the parking area of the existing farmhouse. Each property would have dedicated storage space for refuse bins, with new boundary walls constructed of brickwork delineating each property.

The outline element of the application proposes the construction of four dwellings. The supporting plans and information provide an indicative layout for these units, with three

proposed centrally within the site and a fourth at the junction between West View and Butterwick Road, adjacent to 46 Butterwick Road.

All properties are proposed to be accessed from West View, the application proposing localised road widening along West View, which is included within the red line boundary of the application site.

The indicative layout shows a new footpath to the rear of 40 to 46 Butterwick Road, connecting with an existing path that runs around the perimeter of the site. New hedgerow planting is shown around the boundary of the site, along with new grass verges internally in the site.

### **Material considerations**

Planning permission is sought to demolish buildings on the site and convert existing farm buildings to create three dwellings, alongside the construction of four new dwellings within the site. The application has been submitted in a hybrid form, with full planning permission sought to convert the farm buildings and outline planning permission sought to construct four new dwellings within the site. Access, landscaping, appearance, layout and scale are all matters which are reserved for future consideration. Assessment of the outline element of this application therefore concerns whether or not the principle of new housing in this location is acceptable.

**The main issues in the determination of this application are:**

- **principle of development**
- **highway safety**
- **design and heritage impacts**
- **residential amenity**
- **ecological impacts**
- **flood risk and drainage.**

### **Principle of development**

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise. In this instance the development plan consists of the North Lincolnshire Local Plan (NLLP) which was adopted in May 2003, the North Lincolnshire Core Strategy (NLCS) which was adopted in June 2011 and the Housing and Employment Land Allocations (HELA) DPD which was adopted in March 2016. Appleby Neighbourhood Plan also forms parts of the development plan for applications in this area.

Material considerations exist in the form of national planning policy and guidance contained within the National Planning Policy Framework (NPPF) and the suite of documents comprising the Planning Practice Guidance (PPG).

The application site comprises existing farm buildings and land within the development limits of Messingham, identified within the Core Strategy as a rural settlement, which policy CS1 of

the Core Strategy seeks to support as a thriving sustainable community. It states that development will be limited and should take into account levels of local service provision, infrastructure capacity and accessibility, and that any development that takes place should be in keeping with the character and nature of the settlement.

Through policy CS3 of the Core Strategy, the council has identified a number of settlement boundaries for settlements throughout North Lincolnshire. The application site lies within the settlement boundary for Messingham as defined in the Housing and Employment Land Allocations DPD. Development beyond these limits is restricted by this policy.

Policy CS8 of the Core Strategy deals with the distribution of housing sites and prioritises development in Scunthorpe and the market towns, with brownfield sites and sites within development boundaries being the primary focus. It states that that new housing within the rural settlements will create opportunities for small-scale infill development that maintains the viability of the settlement and meets identified local needs without increasing the need to travel.

The overall strategy for North Lincolnshire, as set out in policy CS2 of the Core Strategy, identifies a sequential approach for development within North Lincolnshire: firstly in Scunthorpe, followed by the market towns and then rural settlements. The bulk of housing requirement for North Lincolnshire under this strategy is allocated for Scunthorpe at 82% of the total housing requirement with 18% in the market towns of Barton upon Humber, Brigg, Crowle, Kirton in Lindsey and Winterton. There are no allocated housing sites within the rural settlements, with the overall housing requirement expected to be delivered within the main settlements within North Lincolnshire.

The application site is within the development limits of Messingham, in a location which is a short walk from the centre of the village. Residents here would have good access to local services and facilities, and would benefit from access to public transport, with bus stops situated along High Street and Scotter Road. New dwellings in this location would be consistent with the spatial distribution aims for development established within the development plan, and would be well positioned in relation to local services and facilities.

In view of the above, the development would be considered sustainable and would be acceptable as a matter of principle in accordance with policies CS1, CS2, CS3 and CS8 of the North Lincolnshire Core Strategy.

### **Design and heritage impacts**

Core Strategy policy CS5 states, ‘...all new development in North Lincolnshire should be well designed and appropriate for their context. It should contribute to creating a sense of place. The council will encourage contemporary design, provided that it is appropriate for its location and is informed by its surrounding context. Design which is inappropriate to the local area or fails to maximise opportunities for improving the character and quality of the area will not be acceptable.’

Policy DS1 of the local plan states that a high standard of design is expected in all developments in both built-up areas and the countryside. Amongst other requirements, policy DS1 states that development must ensure the retention of those existing site features that make an important contribution to the character or amenity of the site or the surrounding area.

Policy H5, which is part saved, seeks to ensure development is in keeping with the scale and character of the settlement, and that the scale, layout, height and materials of the

development are in keeping and compatible with the character and amenity of the immediate environment, amongst other requirements.

The council's HER Officer has been consulted on the application and identifies the inclusion of the farm buildings on the historic environment record. Due to the historic and architectural interest of the farm buildings, they are considered non-designated heritage assets and possess a degree of significance worthy of consideration in the assessment of any planning application for their development.

Paragraph 203 of the NPPF states that in determining applications, local planning authorities should take account of:

- (a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- (b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- (c) the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 209 of the NPPF states that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. It states that in weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Through policies DS1 and HE5 of the local plan, the council seeks to ensure good design and the preservation, restoration and continued use of buildings of special architectural and historic interest. Policy CS6 of the Core Strategy promotes the effective management of North Lincolnshire's historic assets, and seeks to protect the character and setting of historic buildings.

Full planning permission is sought in relation to the conversion of the existing farm buildings to provide three dwellings. Some localised rebuilding work is required to address areas of disrepair within the buildings. Overall, the conversion scheme would have a positive impact upon the character and appearance of these buildings, restoring the character of the barns and bringing them back into use.

Paragraph 211 of the NPPF states local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. Given that the building works may involve the loss of some parts of the farm buildings through rebuilding, it is recommended that a condition be imposed to secure a programme of archaeological works to cover the conversion process.

The site is in an area of archaeological interest where remains of prehistoric and Roman date can be anticipated. Policy HE9 of the local plan indicates that where development proposals affect sites of known or suspected archaeological importance, an archaeological assessment should be submitted prior to the determination of a planning application.



The archaeological potential of the area currently remains unknown; however, based on the findings of the heritage assessment, the council's HER Officer recommends that a condition be imposed to secure archaeological monitoring and recording during all groundworks within the application site. This is capable of being secured by means of an appropriately worded condition.

Subject to accordance with such a condition, the proposed development is considered to be acceptable in terms of its impact upon non-designated heritage assets within the site and would provide measures to avoid harm to potential features of archaeological interest uncovered during development.

In terms of design more generally, the application has been supported by a site plan which shows an indicative layout for the four new build properties. Detailed designs for the new dwellings are not provided as part of this application as matters of layout, scale and appearance are reserved for future consideration.

The indicative layout shows one way in which the development could be delivered. This layout would provide suitable garden areas for each property and an appropriate arrangement which utilises the available space within the site well.

Concerns have been raised by residents in respect of the scale of dormer bungalows and resultant impacts upon residential amenity, which are considered in more detail below; however, as the detailed design would be dealt with at a later stage, these concerns would be insufficient to justify withholding planning permission.

Overall, the design of the conversion scheme would safeguard non-designated heritage assets of local significance and are considered to be sympathetic in their design. The indicative layout for further dwellings within the site would suggest that four units could be reasonably accommodated without compromising the setting of the farm buildings, and would not lead to an over-development of the site. Details of access, landscaping, layout, appearance and scale are reserved for future consideration; however, at this stage, officers are satisfied that a suitable scheme could be delivered which is appropriate in terms of its design and being responsive to local character and distinctiveness.

The application is considered acceptable in respect of the above in accordance with policies DS1, H5, H8 and HE9 of the local plan, policies CS5 and CS6 of the Core Strategy, and the aims of the NPPF.

### **Highway safety**

Policy T1 of the North Lincolnshire Local Plan is concerned with the location of development and aligns with the spatial strategy of the Core Strategy. Policy T2 of the local plan states that all proposals should be provided with a satisfactory access. Policy T19 relates to car parking provision and standards, and in summary requires developments which result in additional parking needs to incorporate proposals to fully meet that demand.

Policy CS25 of the Core Strategy is also relevant and seeks to support and promote a sustainable transport system in North Lincolnshire that offers a choice of transport modes and reduces the need to travel through spatial planning and design and by utilising a range of demand and network management tools.

Paragraph 114 seeks, amongst other requirements, that developments ensure safe and suitable access to the site can be achieved for all users. Paragraph 115 of the NPPF makes

clear that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

The highway authority has been consulted on the application and raises no objections subject to a number of conditions. From the information provided it is not clear whether the access road to the development and footway link to Hewson Street are to remain private or to be offered up for adoption. The highway authority advises that it is generally accepted that private drives should provide access to no more than five dwellings which are wholly served by the private drive.

Access into the site is proposed to be taken from West View, with sufficient parking provided or capable of being provided for each unit within the site. Detailed access arrangements, including road widening, are recommended to be secured by means of an appropriately worded planning condition, given that they incorporate elements of the development for which outline planning permission is sought.

All dwellings proposed in the application would be accessed from West View and, given the nature of the application, it is unclear whether all dwellings are proposed to be served by a private drive, or whether elements of the road layout would be offered up for adoption. As layout and access are matters reserved for future consideration as part of the outline element of the application, conditions can be imposed to secure further details and the developed design can be assessed to ensure an appropriate number of properties utilise private driveways. Similarly, as part of any future application, consideration would be given as to whether any proposed footpaths are suitable, appropriate for their location and capable of being built to adoptable standards where required.

Having regard to the above, it is considered that the development is capable of being served by a suitable access in accordance with the requirements of policy T2 of the North Lincolnshire Local Plan. Adequate parking would be provided within the site to accommodate the parking requirements of the proposed residential dwellings. Subject to accordance with conditions as recommended by the highway authority, the proposed development would not be considered prejudicial to road safety and would be acceptable in accordance with policies T1, T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the NPPF.

### **Residential amenity**

Policy DS1 of the local plan seeks to secure a high standard of design in new developments, and states that no unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking and overshadowing.

Policy DS11 of the local plan indicates that planning permission for development, including extensions to existing premises and changes of use, will only be permitted where it can be demonstrated that the levels of potentially polluting emissions, including effluent, leachates, smoke, fumes, gases, dust, steam, smell or noise do not pose a danger by way of toxic release; result in land contamination; pose a threat to current and future surface or underground water resources; or create adverse environmental conditions likely to affect nearby developments and adjacent areas.

Policy H5 of the local plan seeks, amongst other requirements, that development does not result in overlooking or a loss of privacy to existing developments, or any other loss of amenity to existing dwellings, and that adjacent land uses will not result in annoyance or detract from the residential amenity which residents of the proposed dwellings could expect to enjoy.

Paragraph 135 of the NPPF seeks to ensure that new developments will function well, are safe, inclusive and accessible, and which promote health and well-being, with a high standard of amenity for existing and future users.

The proposed conversion of the barns on site would see the creation of three units within proximity of one another. Units 1 and 2 would have outlooks over the central garden areas, whilst the creation of new openings on the east-facing elevation would provide occupants of unit 3 with an outlook across the garden to the side. The proposed arrangement would reduce the level of intervisibility and overlooking between properties, ensuring that acceptable standards of amenity would be provided for future occupants. By virtue of the separation distance and arrangement of properties within Hilltop Gardens, it is considered that adequate standards of privacy would be maintained for occupants of existing dwellings. This would be aided by the lack of new openings proposed in the northern elevation of the barn, which also helps to maintain the character of the building.

Concerns have been raised about the potential impacts of the proposed new building development within the site. Outline planning permission is sought for this element and all matters are reserved for future consideration. Applications for approval of reserved matters in respect of these plots would consider the detailed design for each unit and at this point an assessment would be made as to the impacts of the development.

A number of objections raise concerns about the potential for overlooking and loss of privacy arising from the proposed development. It is acknowledged that properties nearby have an intimate relationship with the application site, and that a number of properties have relatively low boundary treatments.

Whilst the plans show four dormer bungalows, these are noted within supporting information as being indicative in respect of the new build development for which outline permission is sought. Planning permission is sought to construct four dwellings and the description is not specific in terms of the type of properties to be constructed. Matters of scale, layout and appearance are reserved for future consideration and therefore the detailed design of the development would need to consider the scale and layout of properties within the site as well as the arrangement of openings to ensure that issues such as loss of privacy, overbearing impacts, loss of sunlight/daylight and outlook are not caused.

Conditions are recommended by the council's Environmental Protection team to restrict hours of operation and secure a construction environmental management plan to protect the amenity of residents during construction works. Conditions are also recommended to secure asbestos surveys and methodology for removal; however, as the disposal of asbestos is controlled by alternative legislation in line with PPG, it is not considered necessary to impose planning conditions in the event that permission is granted.

Officers are satisfied that the part of the site on which outline planning permission is sought is capable of being developed without compromising existing living conditions for occupants of neighbouring properties. The precise detail of this element of the proposal is reserved for future consideration as outlined above. At this stage, it is considered that the proposals when

taken as a whole would comply with the requirements of policies DS1, DS11, H5 and H8 of the local plan, policy CS5 of the Core Strategy, and the aims of the NPPF.

## **Ecological impacts**

Policy CS17 of the Core Strategy states that the council will promote effective stewardship of North Lincolnshire's wildlife in a number of ways, including through ensuring development retains, protects and enhances features of biological and geological interest, and by ensuring development seeks to produce a net gain in biodiversity and ensuring any unavoidable impacts are appropriately mitigated for.

The application has been supported by ecological appraisal and biodiversity net gain assessment. The survey results found old bird nests in the barns with possibilities of nesting birds present at the site. The barns were also considered to provide potential for bats, and further targeted surveys to detect the presence or otherwise of bats has been undertaken. These surveys revealed that no bats were utilising the existing farm buildings but were using the area for foraging. Mitigation and precautionary measures are proposed within the supporting survey work, details of which can be secured by means of an appropriately worded condition.

The supporting ecological appraisal identifies a baseline of 0.6352 habitat units on the site, with landscaping proposals including medium-sized tree planting capable of producing 0.8022 habitat units at the site. Combined with on-site hedgerow creation and enhancement, the survey finds that the proposed development would lead to net gains for biodiversity of approximately 26% for habitat units and approximately 26% for hedgerow units.

Based on the findings of the ecological survey and biodiversity net gain assessment, it is considered that the proposals would safeguard protected species and deliver net gains for biodiversity. Conditions are recommended to secure mitigation and enhancement measures. Accordance with these conditions would ensure that the proposed development is acceptable in accordance with policies CS5 and CS17 of the Core Strategy, and the aims of the NPPF.

## **Flood risk and drainage**

Collectively, policies DS16 of the local plan and CS19 of the Core Strategy, which concern flood risk, seek to direct new development to areas at lower risk of flooding by avoiding areas of current or future flood risk, and seek to ensure proposals do not increase the risk of flooding elsewhere. Policy DS14 of the local plan also seeks to ensure that adequate drainage provision is made for new developments.

The application site is within flood zone 1 and is therefore at a low risk of flooding. Whilst the development is not major development, localised concerns about drainage and sewerage capacity have been considered. The LLFA/Drainage team has been consulted on the application and notes that detailed arrangements for the drainage of hard paved areas within the site have not been provided.

Initial concerns about the lack of surface water public sewers nearby have been addressed through the submission of an outline drainage strategy, which proposes volume control measures for surface water drainage. Having reviewed the submitted strategy, the LLFA/Drainage team has no objections subject to accordance with conditions to secure detailed drainage schemes for the site. Subject to accordance with such conditions, the proposed development would not be considered to be at risk of flooding or give rise to potential flooding issues, and would make adequate provision for drainage and foul sewage

in accordance with the requirements of policies DS14 and DS16 of the local plan, policy CS19 of the Core Strategy and the aims of the NPPF.

## **Conclusion**

The principle of the development is considered to be acceptable and would see the re-use of redundant buildings at the site combined with the delivery of new housing within the development limits of Messingham.

The development would safeguard non-designated heritage assets through the sensitive approach to the conversion of the existing farm buildings, with new development capable of contributing positively to the character and appearance of the area.

The development can be undertaken without compromising living conditions for occupants of nearby dwellings, and would provide adequate standards of amenity for future residents of the site. As outline planning permission is sought for the proposed new build dwellings, details of scale, layout and appearance are reserved for future consideration. Impacts of the development on the amenity of nearby properties would be undertaken at reserved matters stage; however, based on the indicative layout officers are satisfied that the site could accommodate the number of units proposed.

The proposed development has been assessed for its impact upon the safety of the highway network. There are no known safety issues in the vicinity of the site, and as such the highway authority has raised no objections in their response to this application, subject to the imposition of a number of planning conditions to secure localised road widening on West View.

The development would deliver net gains for biodiversity, a matter which weighs in favour of the application. The development would also avoid harm to protected species, with conditions recommended to secure enhancement and mitigation measures outlined in supporting surveys.

There are no flooding risks associated with the site, and conditions can be imposed to secure adequate drainage arrangements to serve the development. In addition, conditions are recommended to secure a watching brief over excavations to ensure any features of archaeological interest are recorded, as well as an historic building record to advance understanding of the non-designated heritage asset.

Subject to accordance with conditions outlined below, which are separated into conditions relating to the full and outline elements of the application, Members are advised that planning permission be granted.

## **RECOMMENDATION**

**Grant full planning permission to partially demolish, rebuild and convert existing farm buildings to form 3 new dwellings with new access, and outline planning permission to erect 4 new dwellings with new access (access, appearance, landscaping, layout and scale reserved for subsequent consideration):**

***the grant of full planning permission to partially demolish, rebuild and convert existing farm buildings to form 3 new dwellings with new access, subject to the following conditions:***

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

625.01 Rev B – Location Plan – Full Planning  
625.11 Rev A – Location Plan – Hybrid Application  
625.06 Rev E – Scheme Site Plan  
625.05 Rev D – Scheme Outbuilding Plans  
625.07 Rev C – Scheme Outbuilding Elevations.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No development shall commence until a construction environmental management plan (CEMP) has been submitted to and approved in writing by the local planning authority. The CEMP shall include the following:

Noise and vibration: The CEMP shall set out the particulars of—

- (a) the works, and the method by which they are to be carried out;
- (b) the noise and vibration attenuation measures to be taken to minimise noise and vibration resulting from the works, including any noise limits; and
- (c) a scheme for monitoring the noise and vibration during the works to ensure compliance with the noise limits and the effectiveness of the attenuation measures.

Light: The CEMP shall set out the particulars of—

- (a) specified locations for contractors' compounds and materials storage areas;
- (b) areas where lighting will be required for health and safety purposes;
- (c) the location of any temporary floodlights;
- (d) the identification of sensitive receptors likely to be impacted upon by light nuisance;
- (e) proposed methods of mitigation against potential light nuisance, including potential glare and light spill, on sensitive receptors.

Dust: The CEMP shall set out the particulars of—

- (a) site dust monitoring, recording and complaint investigation procedures;

- (b) the identification of receptors and the related risk of dust impact at all phases of the development, including when buildings and properties start to be occupied;
- (c) the provision of water to the site;
- (d) dust mitigation techniques at all stages of the development;
- (e) the prevention of dust trackout;
- (f) communication with residents and other receptors;
- (g) a commitment to cease the relevant operation if dust emissions are identified either by regular site monitoring or by the local authority;
- (h) a 'no burning of waste' policy.

Reason

To protect amenity of nearby receptors and railway infrastructure during construction, in accordance with policies DS1 and DS11 of the North Lincolnshire Local Plan.

4.

Construction, demolition, site clearance operations, site set up and equipment installation shall be limited to the following days and hours:

- 8am to 6pm Monday to Friday

- 8am to 1pm on Saturdays.

No construction, demolition or site clearance operations shall take place on Sundays or public holidays.

No HGV movements shall be made to or from the site outside these hours during the construction phase of the development.

Reason

To protect the amenity of nearby receptors during construction, in accordance with policies DS1 and DS11 of the North Lincolnshire Local Plan.

5.

If during development any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement, detailing how this contamination shall be dealt with, has been submitted to and approved by the local planning authority. The approved method statement shall be implemented in full prior to any further development commencing on the site.

Reason

To protect human health and the amenity of nearby receptors during construction, in accordance with policies DS1 and DS11 of the North Lincolnshire Local Plan.

6.

No development shall take place until a construction phase traffic management plan showing details of:

- (i) a pre/post construction condition survey of the carriageway to identify any defects and how they will be rectified;
- (ii) all associated traffic movements, including delivery vehicles and staff/construction movements;
- (iii) any abnormal load movements;
- (iv) contractor parking and welfare facilities;
- (v) storage of materials; and
- (vi) traffic management requirements, including the means of controlling the deposition of mud onto the adjacent highway, along with appropriate methods of cleaning the highway, as may be required;

has been submitted to and approved in writing by the local planning authority. Once approved the plan shall be implemented, reviewed and updated as necessary.

#### Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

#### 7.

The development hereby permitted shall not be occupied until details of the proposed carriageway widening of West View have been submitted to and approved in writing by the local planning authority. Thereafter, road widening of West View shall be undertaken in accordance with the approved details and completed prior to occupation of any dwellings on the site.

#### Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

#### 8.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking and turning facilities serving it have been completed in accordance with details to be submitted to and approved in writing beforehand with the local planning authority and, once provided, the vehicle parking and turning facilities shall be retained.

#### Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

#### 9.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken to the satisfaction of the local planning authority



to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

#### Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

10.

No dwelling served by the private driveway shall be occupied until it has been constructed in accordance with details including:

- (i) the proposed method of forming access from the highway, including the required visibility splays;
- (ii) the method of constructing/paving the drive;
- (iii) the provision of adequate drainage features;
- (iv) the provision of suitable bin collection facilities adjacent to the highway;
- (v) the provision of suitable lighting arrangements; and
- (vi) the provision of street name plates that shall include the words 'Private drive';

which shall first be submitted to and approved in writing by the local planning authority. Once constructed the private driveway shall be retained.

#### Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

11.

The development hereby permitted shall not be occupied until details of:

- (i) the layout, drainage, construction, services and lighting of the proposed access road, including the junction with the adjacent highway; and
- (ii) the number and location of vehicle parking space(s) on the site;

have been submitted to and approved in writing by the local planning authority. Thereafter, the development shall be constructed in accordance with the approved details prior to the occupation of any dwelling on the site.

#### Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

12.

No other works shall be commenced on the site until the access road junction with the adjacent highway, including the required visibility splays, has been set out and established.

Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

13.

Notwithstanding the detail contained within the application, no external lighting shall be installed at the site unless details have first been submitted to and approved in writing by the local planning authority. Thereafter, any external lighting shall be installed and maintained in accordance with the approved details.

Reason

To protect the amenity of local residents from light pollution and to avoid harm to protected species of wildlife, in accordance with policies CS5 and CS17 of the North Lincolnshire Core Strategy.

14.

The development hereby permitted shall not be brought into use until a scheme for the provision of surface water drainage has first been submitted to and approved in writing by the local planning authority. The scheme shall be based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development.

The drainage scheme shall demonstrate that surface water run-off generated up to and including the 1 in 100-year critical storm (including an allowance for climate change which should be based on current national guidance) will not exceed the run-off from the existing site. The scheme shall also include details of how the resulting completed scheme is to be maintained and managed for the lifetime of the development so that flood risk, both on and off the site, is not increased.

The drainage scheme shall include details of measures to prevent surface water run-off from hard paved areas within the site onto the highway, and from the highway onto the site.

Once approved, the drainage scheme shall be implemented in full prior to first occupation of the dwellings and thereafter retained and maintained in accordance with the approved scheme.

Reason

To prevent the increased risk of flooding of the site, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policies DS14 and DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and the aims of paragraphs 165 to 175 of the National Planning Policy Framework.

15.

No demolition of, or alterations to, the traditional farm buildings shall take place until the applicant, or their agents or successors in title, has secured the implementation of an archaeological mitigation strategy to be defined in a written scheme of investigation that has

been submitted to and approved in writing by the local planning authority. The strategy shall accord with a brief provided by North Lincolnshire Historic Environment Record and shall include details of the following:

- (i) measures to ensure the preservation by record of the traditional farm buildings to Historic England's Level 2 recording specification
- (ii) measures to ensure the preservation by record of any archaeological features of identified importance within the footprint of the development
- (iii) methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts
- (iv) post-fieldwork methodologies for assessment and analyses
- (v) report content and arrangements for dissemination, and publication proposals
- (vi) archive preparation and deposition with recognised repositories including the digital archive with the ADS
- (vii) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (viii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record of the commencement of archaeological works and the opportunity to monitor such works
- (ix) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

#### Reason

To comply with paragraph 211 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan because the site contains non-designated built heritage assets and the potential for archaeological remains. The recording works will ensure that such evidence is appropriately recorded and a permanent archive created.

16.

The applicant shall notify the local planning authority in writing of the intention to commence the archaeological site works at least seven days before commencement. Thereafter, the archaeological mitigation strategy shall be carried out in accordance with the approved details and timings. No variation shall take place without the prior written consent of the local planning authority.

#### Reason

To comply with paragraph 211 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

17.

The permitted operation of the site shall not commence until any post-investigation assessment has been commissioned in accordance with the programme set out in the

approved written scheme of investigation, and provision made for analysis, publication and dissemination of results and archive deposition has been secured.

Reason

To comply with paragraph 211 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

18.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record and the archive at the North Lincolnshire Museum within six months of commencement of the archaeological programme of work, or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with paragraph 211 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

19.

Within three months of the commencement of development, the applicant, or their successor in title, shall submit a biodiversity management plan to the local planning authority for approval in writing. The plan shall include, but not be limited to:

- (a) details of bat roosting features to be installed;
- (b) details of nesting sites to be installed to support a variety of farmland birds;
- (c) restrictions on lighting to avoid impacts on bat roosts, bat foraging areas, bird nesting sites and sensitive habitats;
- (d) prescriptions for the planting and aftercare of native trees and mixed native hedgerows of high biodiversity value;
- (e) prescriptions for the creation and ongoing management of at least 0.53 hectares of species-rich and structurally varied neutral grassland;
- (f) details to confirm that the measures proposed will provide a measurable net gain in biodiversity value;
- (g) proposed timings for the above works in relation to the completion of the road widening works on West View and subsequent conversion of the barns.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the North Lincolnshire Core Strategy.

20.

The biodiversity management plan shall be carried out in accordance with the approved details and timings, and the approved features shall be retained thereafter, unless otherwise approved in writing by the local planning authority. Prior to the occupation of the last dwelling at the site, the applicant or their successor in title shall submit a report to the local planning authority, providing evidence of compliance with the biodiversity management plan.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the Core Strategy.

21.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

22.

Notwithstanding the provisions of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 (as amended), or any other Order amending, revoking or re-enacting that Order, no further alterations, extensions, porches, outbuildings or new openings shall be constructed or made unless planning permission has first been granted by the local planning authority.

Reason

To ensure the character of the buildings, identified as non-designated heritage assets, is preserved in accordance with the aims of policy CS5 of the North Lincolnshire Core Strategy.

***and the grant of outline planning permission to erect 4 new dwellings with new access (access, appearance, landscaping, layout and scale reserved for subsequent consideration) subject to the following conditions:***

23.

Approval of the details of the access, scale, layout, external appearance of the buildings and the landscaping of the site (hereinafter called 'the reserved matters') shall be obtained from the local planning authority in writing before any development is commenced.

Reason

The application has been made under Article 5(1) of the Town & Country Planning (Development Management Procedure) (England) Order 2015.

24.

Plans and particulars of the reserved matters referred to in condition 23 above, relating to the access, layout, scale, external appearance of any buildings to be erected and the landscaping of the site, shall be submitted in writing to the local planning authority and shall be carried out as approved.

Reason

The application has been made under Article 5(1) of the Town & Country Planning (Development Management Procedure) (England) Order 2015.

25.

Application for approval of the reserved matters shall be made to the local planning authority before the expiration of three years from the date of this permission.

Reason

To comply with the provisions of Section 92 of the Town and Country Planning Act 1990.

26.

The development hereby permitted shall be begun either before the expiration of five years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason

To comply with the provisions of Section 92 of the Town and Country Planning Act 1990.

27.

The development hereby permitted shall be carried out in accordance with the following approved plans:

- 625.10 Rev A – Location Plan Outline Planning
- 625.11 Rev A – Location Plan – Hybrid Application
- 625.06 Rev E – Scheme Site Plan.

Reason

For the avoidance of doubt and in the interests of proper planning.

28.

No development shall take place on the construction of any dwellings proposed in the outline application until a construction phase traffic management plan showing details of:

- (i) a pre/post construction condition survey of the carriageway to identify any defects and how they will be rectified;
- (ii) all associated traffic movements, including delivery vehicles and staff/construction movements;
- (iii) any abnormal load movements;
- (iv) contractor parking and welfare facilities;
- (v) storage of materials; and
- (vi) traffic management requirements, including the means of controlling the deposition of mud onto the adjacent highway, along with appropriate methods of cleaning the highway, as may be required;

has been submitted to and approved in writing by the local planning authority. Once approved the plan shall be implemented, reviewed and updated as necessary.

Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

29.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking and turning facilities serving it have been completed in accordance with details to be submitted to and approved in writing beforehand with the local planning authority and, once provided, the vehicle parking and turning facilities shall be retained.

Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

30.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken to the satisfaction of the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

31.

No dwelling served by the private driveway shall be occupied until it has been constructed in accordance with details including:

- (i) the proposed method of forming access from the highway, including the required visibility splays;
- (ii) the method of constructing/paving the drive;
- (iii) the provision of adequate drainage features;
- (iv) the provision of suitable bin collection facilities adjacent to the highway;
- (v) the provision of suitable lighting arrangements; and
- (vi) the provision of street name plates that shall include the words 'Private drive';
- (vii) which shall first be submitted to and approved in writing by the local planning authority. Once constructed the private driveway shall be retained.

Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

32.

The development hereby permitted shall not be occupied until details of:

- (i) the layout, drainage, construction, services and lighting of the proposed access road, including the junction with the adjacent highway; and
- (ii) the number and location of vehicle parking space(s) on the site;

have been submitted to and approved in writing by the local planning authority. Thereafter, the development shall be constructed in accordance with the approved details prior to the occupation of any dwelling on the site.

Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy, and the aims of the National Planning Policy Framework.

33.

No other works shall be commenced on the site until the access road junction with the adjacent highway, including the required visibility splays, has been set out and established.

Reason

In the interests of highway safety, in accordance with policies T2 and T19 of the North Lincolnshire Local Plan, policy CS25 of the North Lincolnshire Core Strategy and the aims of the National Planning Policy Framework.

34.

The development hereby permitted shall not be brought into use until a scheme for the provision of surface water drainage has first been submitted to and approved in writing by the local planning authority. The scheme shall be based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development.

The drainage scheme shall demonstrate that surface water run-off generated up to and including the 1 in 100-year critical storm (including an allowance for climate change which should be based on current national guidance) will not exceed the run-off from the existing site. The scheme shall also include details of how the resulting completed scheme is to be maintained and managed for the lifetime of the development so that flood risk, both on and off the site, is not increased.

The drainage scheme shall include details of measures to prevent surface water run-off from hard paved areas within the site onto the highway, and from the highway onto the site.

Once approved, the drainage scheme shall be implemented in full prior to first occupation of the dwellings and thereafter retained and maintained in accordance with the approved scheme.

35.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of an archaeological mitigation strategy, to be defined in a written scheme of investigation that has been submitted to, and approved in writing, by the local planning authority. The strategy shall accord with a brief provided by North Lincolnshire Historic Environment Record and shall include details of the following:



- (i) measures to ensure the preservation by record of archaeological features within the footprint of the development
- (ii) methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts
- (iii) post-fieldwork methodologies for assessment and analyses
- (iv) report content and arrangements for dissemination, and publication proposals
- (v) archive preparation and deposition with recognised repositories including the ADS
- (vi) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (vii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record of the commencement of archaeological works and the opportunity to monitor such works
- (viii) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

#### Reason

To comply with paragraph 211 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy. The archaeological programme will ensure that such evidence is appropriately recorded, and a permanent archive created.

#### 36.

The applicant shall notify the local planning authority in writing of the intention to commence the archaeological site works at least seven days before commencement. Thereafter, the archaeological mitigation strategy shall be carried out in accordance with the approved details and timings. No variation shall take place without the prior written consent of the local planning authority.

#### Reason

To comply with paragraph 211 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

#### 37.

The final dwelling shall not be occupied until any post-investigation assessment has been commissioned in accordance with the programme set out in the approved written scheme of investigation, and provision made for analysis, publication and dissemination of results and archive deposition has been secured.

#### Reason

To comply with paragraph 205 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

38.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record and the archive at the North Lincolnshire Museum within 12 months of commencement of the archaeological programme of work or such other period as may be agreed in writing by the local planning authority.

**Reason**

To comply with paragraph 205 of the National Planning Policy Framework, policy CS6 of the Core Strategy, and saved policy HE9 of the North Lincolnshire Local Plan.

39.

Within three months of the commencement of development, the applicant, or their successor in title, shall submit a biodiversity management plan to the local planning authority for approval in writing. The plan shall include, but not be limited to:

- (a) details of bat roosting features to be installed;
- (b) details of nesting sites to be installed to support a variety of farmland birds;
- (c) restrictions on lighting to avoid impacts on bat roosts, bat foraging areas, bird nesting sites and sensitive habitats;
- (d) prescriptions for the planting and aftercare of native trees and mixed native hedgerows of high biodiversity value;
- (e) prescriptions for the creation and ongoing management of at least 0.53 hectares of species-rich and structurally varied neutral grassland;
- (f) details to confirm that the measures proposed will provide a measurable net gain in biodiversity value;
- (g) proposed timings for the above works in relation to the completion of the road widening works on West View and subsequent conversion of the barns.

**Reason**

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the North Lincolnshire Core Strategy.

40.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

**Reason**

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

## Informatives

1.

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

2.

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

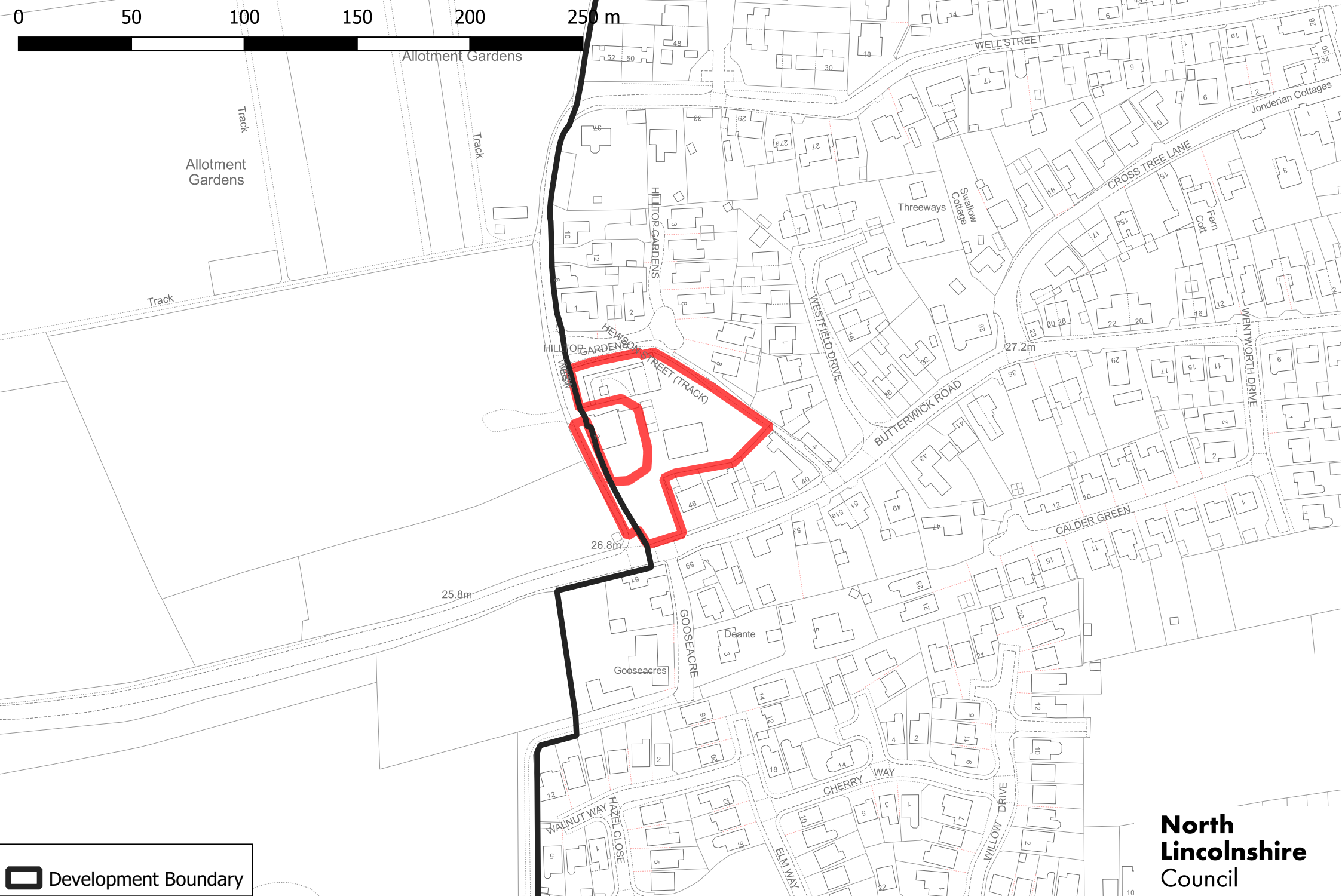
3.

The proposals rely on a new (restricted discharge) connection into the highway drainage system on West View. This is not a public sewer and therefore the developer has no 'as of rights' connection into this drain. Any additional flows into this drain must be fully modelled by the developer and upgrades to this drainage system may be required to facilitate the connection (at the developer's expense). This must be consented by North Lincolnshire Council's LLFA Drainage team, in their capacity as Lead Local Flood Authority, through an ordinary watercourse consent and appropriate discharge rates must be agreed. Please contact the LLFA Drainage team on 01724 297522 or via email to [llfadrainageteam@northlincs.gov.uk](mailto:llfadrainageteam@northlincs.gov.uk) for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

4.

For your information the LLFA Drainage team no longer permits the use of connected private surface water drainage systems which are reliant on one outfall/property owner, unless a robust adoption and maintenance plan is produced and made known to all property owners. The reliance on one owner to maintain a drainage system, if not maintained, can cause civil and legal disputes moving forward with several neighbouring properties. This is an approach that other local authorities are adopting. There is no reason why each property cannot have their own individual surface water drainage outfall. This is not a good solution unless it is a public sewer and adopted by the water company.

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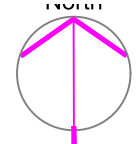
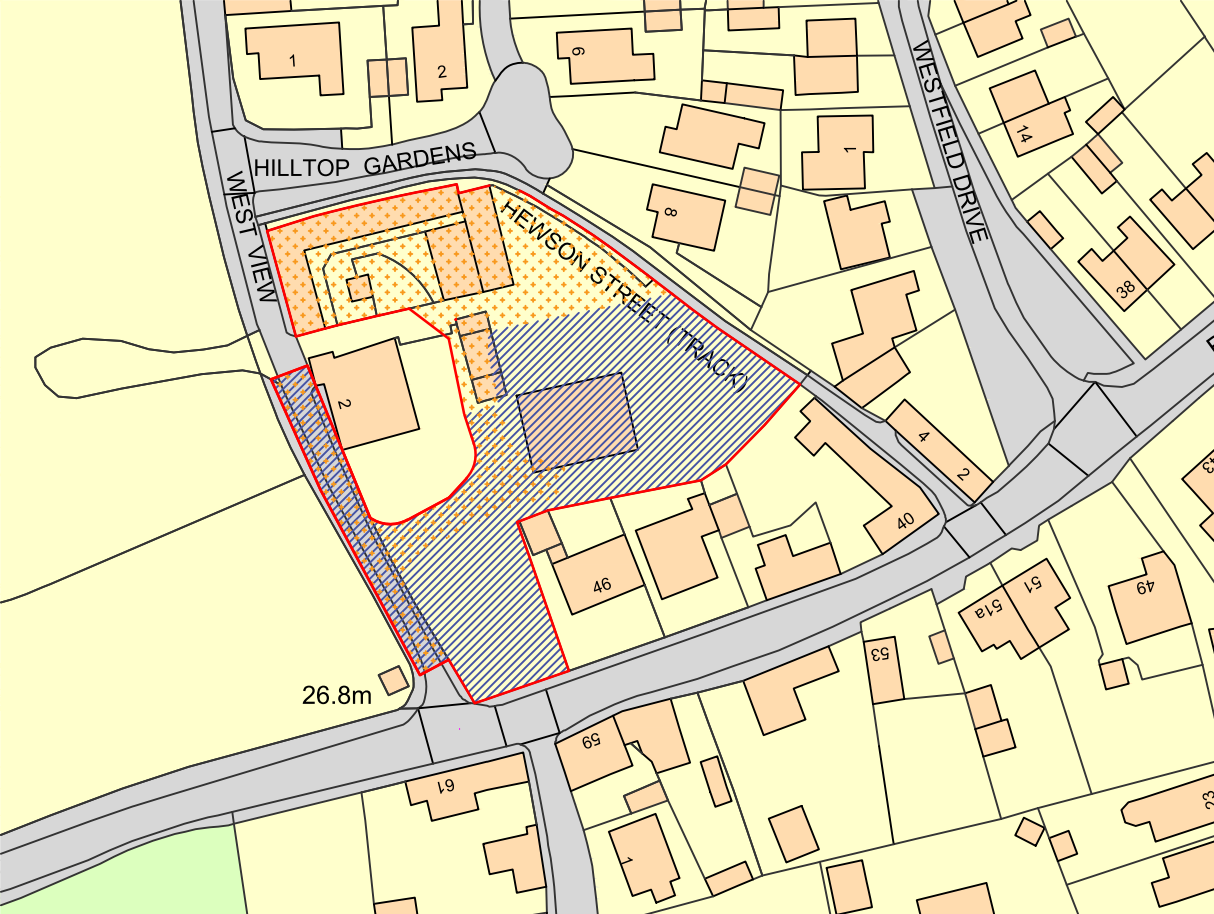
 Development Boundary

**PA/2023/1583**

**North  
Lincolnshire  
Council**

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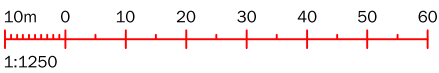
# PA/2023/1583 Extents of full and outline elements (not to scale)



Issue Status			
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Revision	Drawn	Check	Date
A Planning issue	KK	HM	21.09.2023

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- Full Planning Extents
- Outline Planning Extents



client <b>DDM Agriculture</b>			
project <b>Whaplate Farm, Messingham Residential Development</b>			
drawing Location Plan Hybrid Application	drwg. no. 625.11	revision A	
date 21.09.23	scale 1:1250@A4	drawn KK	check HM

**Kelly &  
MacPherson**  
ARCHITECTS

Kelly & MacPherson ARCHITECTS



# PA/2023/1583 Proposed layouts (not to scale)



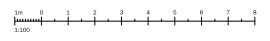
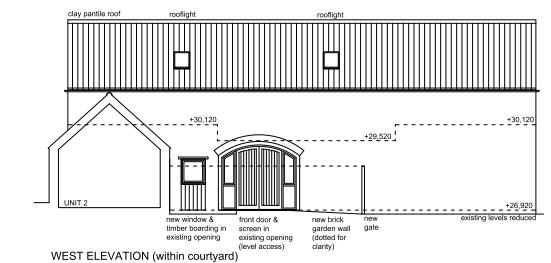
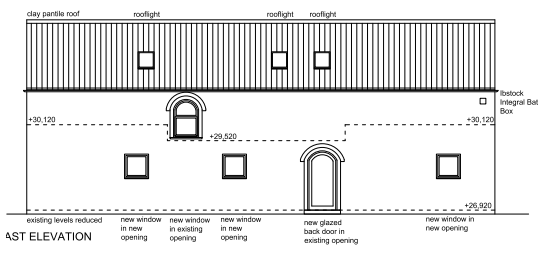
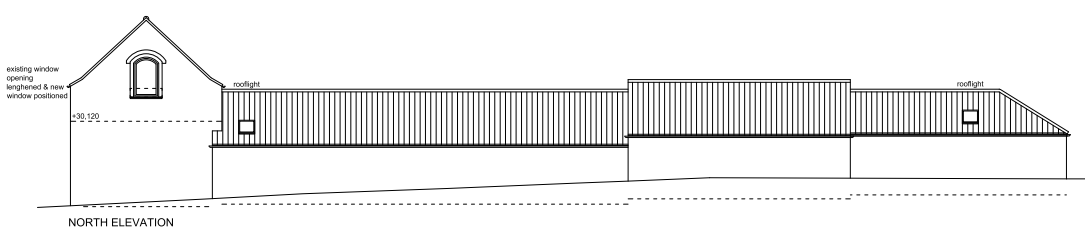
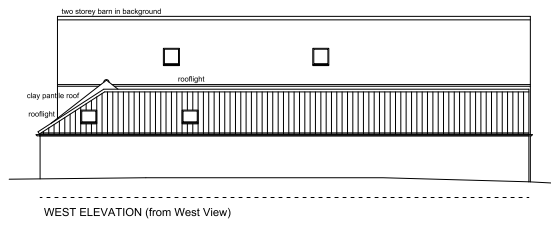
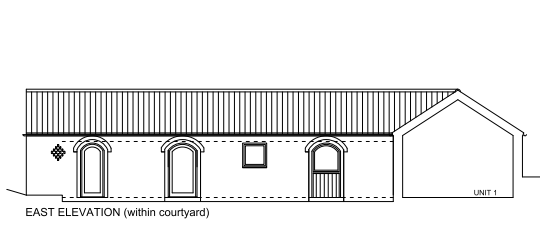
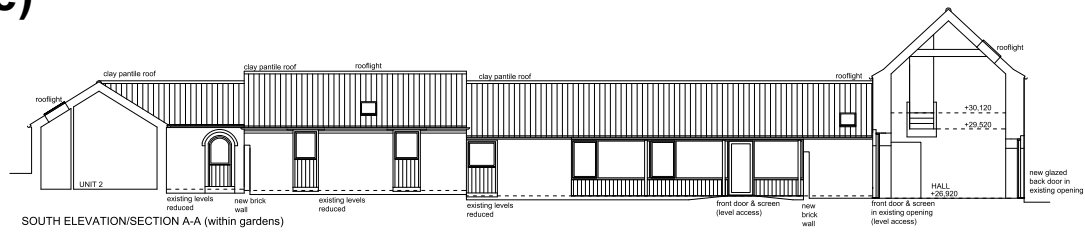
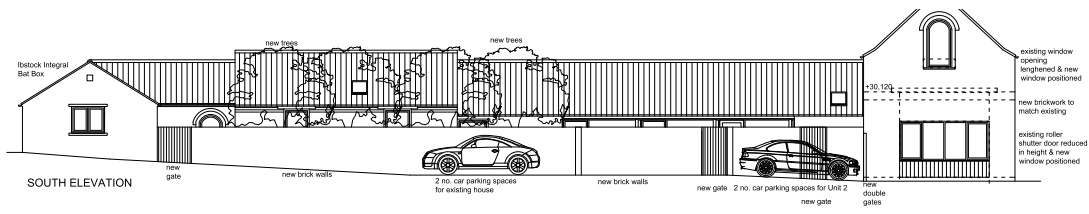
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Issue Status			
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Revision	Drawn	Check	Date
A DRAFT issue for Client/SE & Transport Consultant	HM	KK	07.06.2023
B DRAFT issue for Client	HM	KK	15.06.2023
C Layout amended	HM	KK	13.07.2023
D Layout amended further to ADC input	HM	KK	16.08.2023
E Hedge added to house boundary	HM	KK	22.08.2023

client			
DDM Agriculture			
project			
Whaplate Farm, West View, Messingham			
drawing		625.06	revision
Scheme Site Plan			E
date	scale	drawn	check
07.06.23	1:500@A2	HM	KK
		Tel: 01472 851732 Mobile: 07801 081799	

# PA/2023/1583 Outbuilding elevations (not to scale)



Issue Status			
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Revision	Drawn	Check	Date
A	HM	KK	10.06.2023
B	KK	HM	16.06.2023
C	HM	KK	29.08.2023

Client <b>DDM Agriculture</b>	
Project <b>Whaplate Farm, West View, Messingham</b>	
Drawn <b>HM</b>	Check <b>KK</b>
Scale <b>1:625.07</b>	Sheet <b>C</b>
Date <b>07.06.23</b>	Scale <b>1:100@A1</b>
Drawn <b>HM</b>	Check <b>KK</b>

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