

APPLICATION NO PA/2023/1602

APPLICANT Mr Adam Storey

DEVELOPMENT Planning permission for two-storey extension and single-storey extension to form an orangery and erect an attached garage

LOCATION Pademoor Cottage, unnamed road between Crowle and Luddington via Leam House, Eastoft, DN17 4PZ

PARISH EASTOFT

WARD Axholme North

CASE OFFICER Deborah Oikeh

SUMMARY RECOMMENDATION **Approve with conditions**

REASONS FOR REFERENCE TO COMMITTEE Departure from the development plan

POLICIES

National Planning Policy Framework:

12 Achieving well designed and beautiful places

North Lincolnshire Local Plan:

DS1 General requirements

DS5 Residential extensions

DS7 Contaminated land

DS14 Foul sewage and surface water drainage

DS16 Flood risk

T2 Access to development

T19 Car parking provision and standards

RD2 Development in the open countryside

RD10 Replacement, alterations and extensions to dwellings in the open countryside

North Lincolnshire Core Strategy:

CS1 Spatial strategy for North Lincolnshire

CS2 Delivering more sustainable development

CS3 Development limits

CS5 Delivering quality design in North Lincolnshire

CS19 Flood risk

Housing and Employment Land Allocations Development Plan Document:

PS1 Presumption in favour of sustainable development

New North Lincolnshire Local Plan Submission: The new North Lincolnshire Local Plan was submitted for public examination to the Planning Inspectorate on 11 November 2022. Examination of the Plan has therefore commenced, although public hearing sessions are not anticipated until late 2024.

The Submitted North Lincolnshire Local Plan can be given some weight as a material planning consideration in the determination of planning applications. The relevant policies concerning this application are:

RD1 Supporting sustainable development in the countryside

SS1 Presumption in favour of sustainable development

SS3 Development principles

SS11 Development limits

DM1 General requirements

CONSULTATIONS

Highways: No objections subject to conditions.

LLFA Drainage: No objections subject to conditions.

PARISH COUNCIL

No objections.

PUBLICITY

A site notice has been displayed – no comments have been received.

ASSESSMENT

Planning history

PA/2018/2364: Planning permission for a detached two-storey garage with store above – approved 08/02/2019

Site constraints

- The site lies outside the development boundary of Eastoft according to the HELADPD 2016.

- The site is within SFRA flood zone 2/3a tidal.

Proposal and site characteristics

This proposal seeks planning permission to erect a two-storey extension and a single-storey orangery with an attached garage to the existing dwelling. The application site is at the end of a row of dwellings on an unnamed road near Luddington. The site is bordered to the south by a few detached dwellings and to the north and west by the open countryside.

The site comprises a two-storey property with a garage and outbuilding at the edge of the unnamed road. These outbuildings would be demolished, as shown on the site plan, to accommodate the proposed extensions. There are other outbuildings to the rear of the site, within the site's boundary. The site is outside of any development limits as identified by the Housing and Employment Land Allocations DPD 2016.

Main considerations

- **Principle of development**
- **Impact upon amenity and the character of the area**
- **Flood risk and drainage**
- **Impact upon highway safety.**

Principle of development

Section 38(6) of the Planning and Compulsory Purchase Act 2004 provides that, if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.

The North Lincolnshire development plan consists of the saved policies of the North Lincolnshire Local Plan (NLLP), the North Lincolnshire Core Strategy (NLCS) and the Housing and Employment Land Allocations DPD. Other material considerations include the National Planning Policy Framework (NPPF), the emerging North Lincolnshire Local Plan and a suite of supplementary planning documents.

The application site is outside the development limit for Eastoft as defined in the Housing and Employment Land Allocations DPD and so constitutes development within the countryside. Core Strategy policies CS2 and CS3 and local policy RD2 partly seek to control development in the open countryside. Policy RD2 in particular states that development would be granted for applications essential to agriculture or forestry, the re-use or adaptation of existing rural buildings, or the replacement, alteration or extension of an existing dwelling, amongst others.

Policy CS5 states that new developments should be well designed and appropriate for their context, and contribute to creating a sense of place, any proposed development needing to respect the character and appearance of the local area.

Therefore, proposals for the extension or alteration of an existing dwelling in the open countryside are considered acceptable, subject to an assessment of their impact on the character or appearance of the open countryside or a nearby settlement in terms of siting, scale, massing, design and use of materials.

Impact upon amenity

Policy DS1 aims to ensure that development does not unduly impact neighbouring amenity in terms of noise, smell, fumes, dust or other nuisance.

Policy DS5 also seeks to ensure that proposals do not result in adverse impacts upon neighbouring amenity by unreasonably reducing sunlight or daylight, overshadowing, overbearing impact or loss of privacy to adjacent dwellings. The proposal is expected to be sympathetic in design, scale and materials to the existing dwelling and its neighbours.

The nearest dwellings to the application site are situated south-west. However, there exists a reasonable separation distance between the application site and these dwellings, as well as screening from existing boundary treatment. Therefore, the likelihood of the proposal having an adverse impact on neighbouring properties, in terms of overshadowing or being overbearing, is limited. Similarly, a reasonable percentage of the proposed openings to the extension and dwelling would face south-east. There is limited prospect for overlooking into neighbouring sites to the south.

It is therefore considered that the proposal would not carry unacceptable overbearing, overlooking or overshadowing impacts that would be detrimental to the residential amenity rights of adjoining neighbours and aligns with policy DS5.

Impact upon the character of the area

Policy CS5 states that new developments should be well designed and appropriate for their context, and contribute to creating a sense of place, any proposed development needing to respect the character and appearance of the local area. Policy RD2 also seeks to protect the character and appearance of the countryside.

The site is entirely outside the development boundary; therefore policy RD10, which relates to development in countryside, applies. Policy RD10 (ii) in particular specifies that 'the volume of any proposed alteration or extension shall not exceed that of the original dwelling by 20%, exclusive of the normal permitted development rights and the original dwelling forms the dominant visual feature of the dwelling as extended.'

In terms of appearance, the external façade of the dwelling will be finished with red multi clay brickwork in plain sand cement mortar, natural red clay pantiles and brown Upvc windows and doors. Amendment to the scheme was sought to include more detailing to the appearance of the extensions overlooking the road (north-west elevation). The existing view of the dwelling is such that the principal elevation overlooks the countryside, while the rear elevation backs onto the road. The appearance of the dwelling after the extension will retain this arrangement whereby views of the extension from the highway is limited and the legibility of the original dwelling is still noticeable. Dwellings to the south and the existing dwellings are traditional dwellings, built in brick with pitched roofs. The proposed extension will have a pitched roof and be built using traditional materials. It is considered that the removal of the clusters of outbuildings at the edge of the road to extend the dwelling would tidy up the site.

In terms of scale, the proposal will result in the demolition of the garage and outbuilding at the entrance to the site. Therefore, a part of the proposed extension would overlap the footprint of the outbuildings to be demolished. The original volume of the dwelling is estimated to be 475.89 cubic metres, the volume of outbuildings to be demolished 123.71 cubic metres, and the volume of the proposed extension 313.09 cubic metres. Nevertheless, the volume of the extension will be in excess of the 20% allowed in policy RD2 by about 40%; however, this

is exclusive of the normal permitted development rights and the volume of outbuildings to be demolished (123.71 cubic metres). If permitted development and volume of the demolished outbuilding is accommodated, the scale of the proposed extension will not be overtly large or unacceptable.

The scale and design of the proposed extensions are therefore considered acceptable and in accordance with policies DS5, CS5, RD2 and RD10.

Flood risk and drainage

Policy CS19 of the Core Strategy is concerned with flood risk, whilst DS14 and DS16 of the local plan are concerned with flood risk, drainage and foul water. Policy CS19 in particular states, 'The council will support development proposals that avoid areas of current or future flood risk, and which do not increase the risk of flooding elsewhere.'

The application site is set within flood zone 2/3a. The proposal is classed as a minor development, being an extension to an existing residential dwelling. Therefore, the Environment Agency's standard condition for household extensions would be followed.

The council's LLFA Drainage team has been consulted and no concerns have been raised with regard to flooding or drainage. The proposal is therefore considered to align with policies DS14, DS16 and CS19.

Highway safety

Policy T2 of the North Lincolnshire Local Plan states that all development should be served by a satisfactory access. Policy T19 is concerned with parking provision, as well as general highway safety.

The existing access to the site would be retained and widened following demolition of the garage at the entrance to the site. The existing parking arrangement is considered to be sufficient for the site. The highways department has been consulted and no objections or concerns have been raised. Therefore, the proposal is not considered to conflict with the requirements of policies T2 and T19.

Conclusion

The proposal seeks to carry out extensions to the existing dwelling. The site is entirely outside the settlement development boundary; however, policy RD2 supports house extensions subject to an assessment of the proposal's impact on character, residential amenity and scale, amongst other criteria. The proposal will result in the demolition of two outbuildings at the edge of the road which makes the site look cluttered and unappealing. The effect of this is an extension to form a single dwelling when viewed from the road. The volume of the proposed extension will be about 40% above the permitted volume. However, this volume is exclusive of the permitted development right, which could be up to 50% of the total land around the house. The proposed design, scale and amendment will not impact the residential amenity and character of the area adversely. The proposal is therefore recommended for approval.

RECOMMENDATION **Grant permission subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

- Site location plan and block plan A0001
- Proposed floor plan A0003 rev B
- Proposed elevation plan A0004 rev B.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No materials shall at any time be sorted on the adopted highway.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

4.

No structure, including foundations, shall be constructed within the adopted highway.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

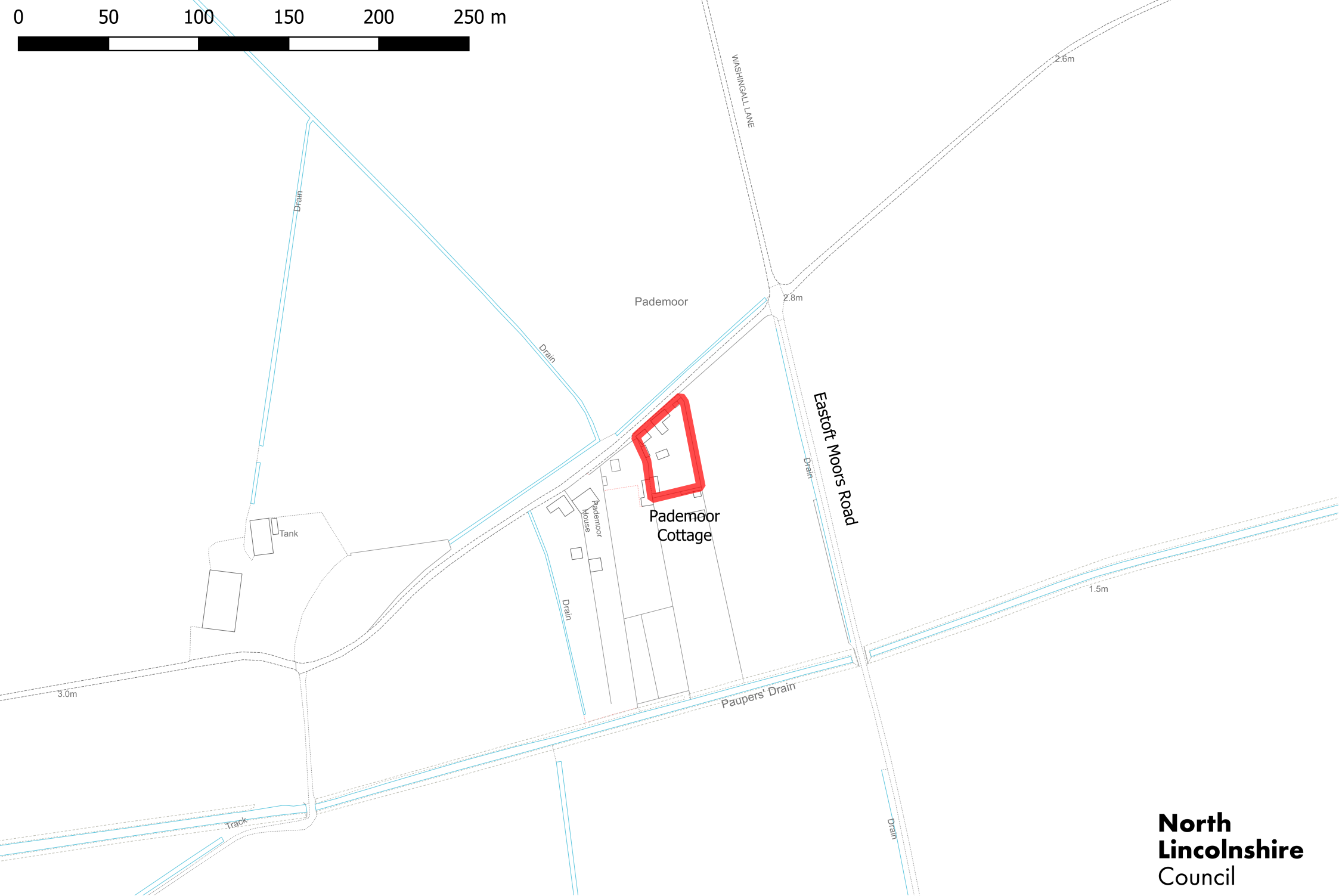
Informatives

1.

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

2.

If any traffic management is required for the adjacent adopted highway and footway, before any works take place you must contact the highway authority on 01724 297000 to arrange for the relevant permissions/licences to be issued.



**North
Lincolnshire
Council**

PA/2023/1602

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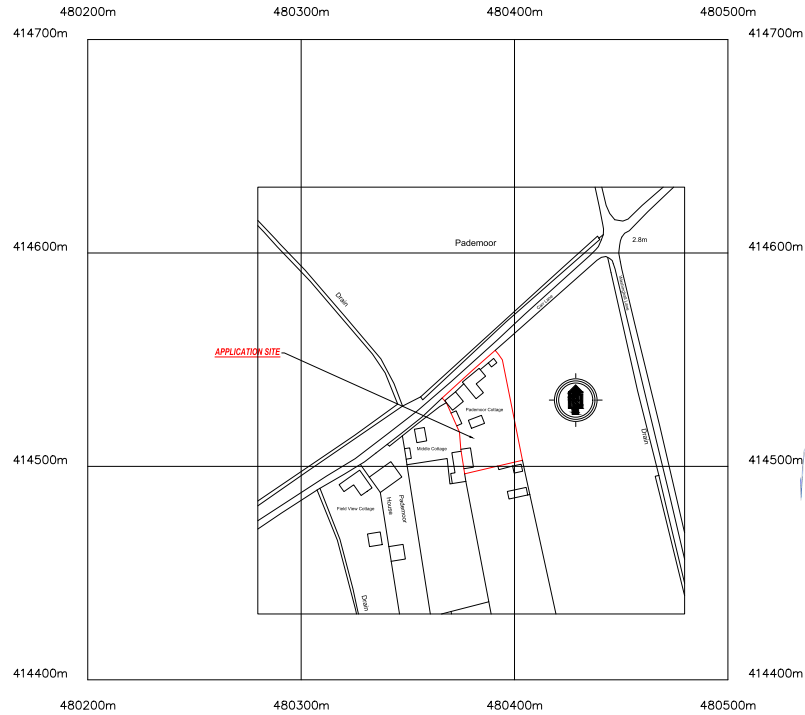
PA/2023/1602 Proposed layout (not to scale)

DO NOT SCALE

SPECIFICATION & CONSTRUCTION NOTES:

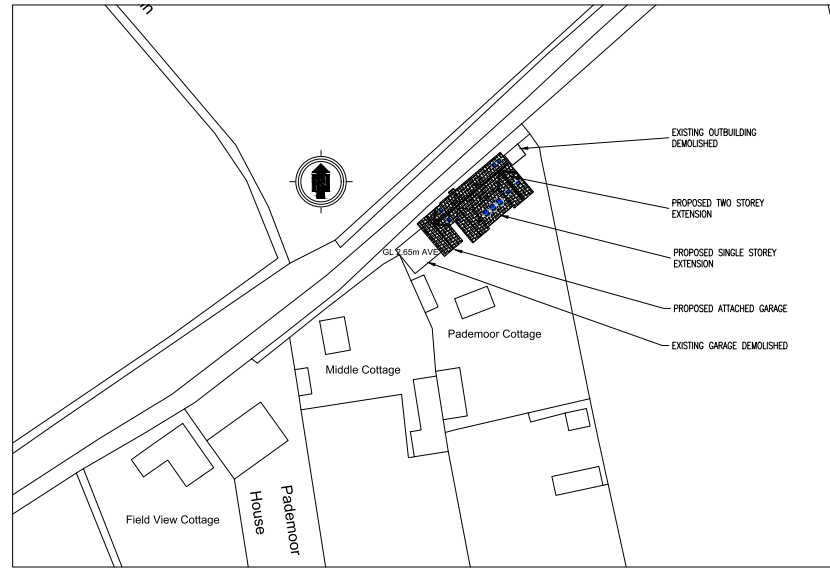
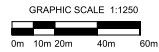
GENERAL

1. These notes are intended to augment drawings and specifications. Where conflict of requirements exists the order of precedence shall be as shown in the specifications. Otherwise the strictest provision shall govern.
2. This drawing is to be read in conjunction with all other relevant Engineering and Architectural drawings.
3. Drawings not to be scaled. All dimensions to be checked on site by the Contractor. Any discrepancies to be notified to the Building Designer and further instructions obtained before work is commenced.
4. The structure is designed to be self-supporting and stable after the building is fully complete. It is the Contractor's sole responsibility to determine the erection procedure and sequence and ensure that the building and its components are safe during erection. This includes the addition of whatever temporary bracing, gys or tie-downs which may be necessary, such material remaining the property of the Contractor upon completion.
5. This drawing represents a detailed dimensional measurement survey of the physical dimensions of the existing property. This drawing does not and is not intended to express any opinion on the physical, superficial or structural condition of the premises depicted.
6. This drawing is to be read in conjunction with all other relevant drawings.
7. TAS Building Design is a trading name of Lincs Building Design Consultants Ltd.

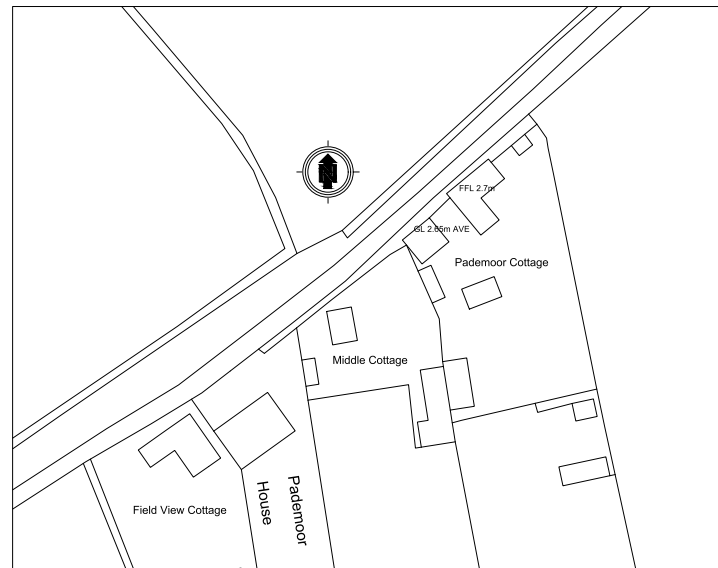
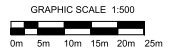


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OS Map Site Location Plan
Scale 1:1250



Block/Site Plan - Proposed
Scale 1:500



Block/Site Plan - Existing
Scale 1:500

REV	DATE	BY	DESCRIPTION	CHK	APP
0	07.06.23	TAS	Initial Issue	TAS	TAS

DRAWING STATUS: INITIAL ISSUE

	FF2/2A School Court Wrayby Street North Lincolnshire DN20 8JW
	t: +44(0)1652 659467 f: +44(0)1652 659467 e: tasbuildingdesign@hotmail.co.uk

CLIENT: MR A STOREY & MISS R ATKINS

PROJECT: PADEMOOR COTTAGE, WASHINGTON LANE EASTOFT, DN17 4PZ

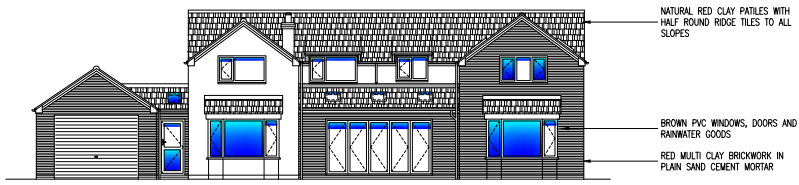
TITLE: SITE LOCATION, EXISTING AND PROPOSED BLOCK PLANS

SCALE & SIZE: A3 SHOWN @ A1	CHECKED: TAS	APPROVED: TAS
DATE FILE: 24509 /Drg/Arch	DESIGN/DRAWN: TAS/j	DATE: JUNE 2023
PROJECT No: 24509	DRAWING No: A0001	REV: -

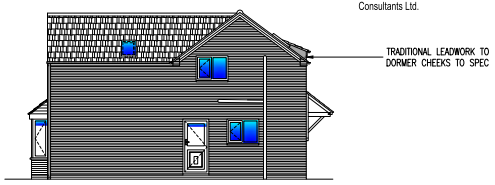


PA/2023/1602 Proposed elevations (not to scale)

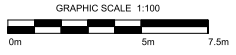
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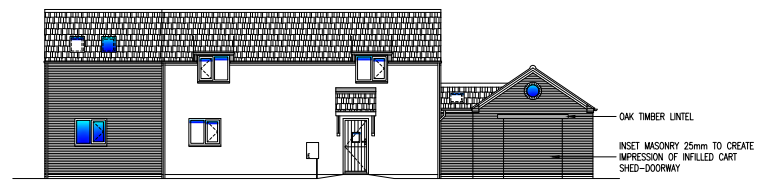
South East Elevation
Scale 1:100



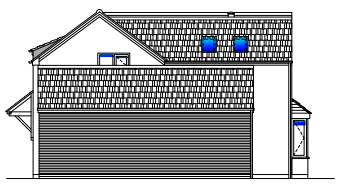
North East Elevation
Scale 1:100



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LL TO SPEC



North West Elevation
Scale 1:100



South West Elevation
Scale 1:100

SPECIFICATION & CONSTRUCTION NOTES:

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DO NOT SCALE

SPECIFICATION & CONSTRUCTION NOTES:CONT'D

- PLANNING RELATED EXTERNAL FACING MATERIALS AND ASSOCIATED NOTES:-**
- EXTERNAL WALLS**
APPROVED RED/ORANGE MULTI CLAY BRICK TO MATCH EXISTING WITH MORTAR TO SPECIFICATION. POINTING SHALL MATCH EXISTING STYLE AND BRUSHED SMOOTH WITH A SOFT BRUSH.
- MORTAR**
COMPRISING 1:1:6 PARTS OPC/HYDRATED LIME/SAND.
- ROOF**
COVERED WITH APPROVED BREATHABLE FELT SUCH AS PROCTOR ROOFSHIELD AND APPROVED NATURAL RED CLAY ROOF TILES TO MATCH EXISTING ON 38x50mm TANALISED ROOFING LATTS ALL LAID IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- INSTALL SANTOFT MATCHING HALF ROUND RIDGE UNITS ALL TO MANUFACTURER'S INSTRUCTIONS. THE MORTAR SHALL BE SUPPLEMENTED BY APPROVED DRY RIDGE FIXINGS TO LABC APPROVAL TO BS 8612: 2018 DRY FIXED RIDGE, HIP AND VERGE SYSTEMS.
- DOORS/WINDOWS**
ALL WINDOWS AND DOORS/FRAMES TO BE MANUFACTURED FROM APPROVED HARDWOOD OR PVC PROFILES ALL TO SPEC. COLOUR SHALL MATCH EXISTING
- RAINWATER GOODS**
INSTALL OSMA 120MM PVC HALF ROUND GUTTERS WITH MATCHING 65MM ROUND DOWN PIPES. POSITIONS OF EXISTING SOAKAWAYS SHALL BE IDENTIFIED. ALL SHALL A MINIMUM OF 5m AWAY FROM THE NEAREST BUILDING. AND CONSTRUCTED TO SPECIFICATIONS, CALCULATIONS AND MEET THE REQUIREMENTS OF BRE DIGEST 365 - SOAKAWAYS.
- MAIN DOOR**
PROPRIETARY UP AND OVER OR ROLLER SHUTTER DOOR BY HORMANN OSA. COLOUR TO CLIENT'S PREFERENCE
- FLOOD RESISTANCE AND RESILIENT CONSTRUCTION**
THE EXTENSIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH 'IMPROVING THE FLOOD PERFORMANCE OF NEW BUILDINGS' FLOOD RESILIENT CONSTRUCTION BY CIRIA 2007, ALL AS PER BUILDING REGULATIONS SUBMISSION.

REV	DATE	BY	DESCRIPTION	CHK	APP
B	23.01.24	TAS	Garage Window added as Requested by LPA	TAS	TAS
A	11.12.23	TAS	Additional Utility Window Added	TAS	TAS
0	07.06.23	TAS	Initial Issue	TAS	TAS

DRAWING STATUS: INITIAL ISSUE

TAS Building Design

FF2/2A School Court
Wrayby Street
Brigg
North Lincolnshire
DN20 8JW

t: +44(0)1652 659467
f: +44(0)1652 659467
e: tasbuildingdesign@hotmail.co.uk

CLIENT: MR A STOREY & MISS R ATKINS

PROJECT: PADEMOOR COTTAGE, WASHINGHALL LANE
EASTOFT, DN17 4PZ

TITLE: PROPOSED EXTENSIONS
& ALTERATIONS
ELEVATIONS

SCALE & SIZE: AS SHOWN @ A1	CHECKED: TAS	APPROVED: TAS
DAO FILE: 24509/Drq/Arch	DESIGN/DRAWN: TAS/lb	DATE: JUNE 2023

PROJECT No: 24509	DRAWING No: A0004	REV: B
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