

APPLICATION NO	PA/2020/613
APPLICANT	Mr Terry Milner
DEVELOPMENT	Outline planning permission for six residential building plots with appearance, landscaping and scale reserved for subsequent consideration
LOCATION	White House Farm, Main Street, Ealand, DN17 4JG
PARISH	Crowle
WARD	Axholme North
CASE OFFICER	Nick Salt
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Member 'call in' (Cllr Julie Reed – significant public interest) Contrary to the development plan Objection by Crowle Town Council

POLICIES

National Planning Policy Framework:

Paragraph 7 states, 'The purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs.'

Paragraph 8 states, 'Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

- (a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;
- (b) a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural wellbeing; and
- (c) an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and

pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.'

Paragraph 9 states, 'Planning policies and decisions should play an active role in guiding development towards sustainable solutions, but in doing so should take local circumstances into account, to reflect the character, needs and opportunities of each area.' It also explains that the three overarching objectives are not criteria against which every decision can or should be judged.

Paragraph 10 states that at the heart of the Framework is a presumption in favour of sustainable development.

Paragraph 11 sets out the presumption in favour of sustainable development and confirms that, for decision-taking, this means:

- (c) approving development proposals that accord with an up-to-date development plan without delay; or
- (d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting planning permission unless:
 - (i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
 - (ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole.'

Paragraph 38 states, 'Local planning authorities should approach decisions on proposed development in a positive and creative way...Decision-makers at every level should seek to approve applications for sustainable development where possible.'

Paragraph 59 states that to support the Government's objective of significantly boosting the supply of homes, 'it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay.'

Section 7 – Ensuring the vitality of town centres

Section 12 – Achieving well-designed places

Section 14 – Meeting the challenge of climate change, flooding and coastal change.

North Lincolnshire Core Strategy:

CS1 (Spatial Strategy for North Lincolnshire)

CS2 (Delivering More Sustainable Development)

CS3 (Development Limits)

CS5 (Design)

CS6 (Historic Environment)

CS7 (Overall Housing Provision)

CS8 (Spatial Distribution of housing sites)

CS17 (Biodiversity)

CS19 (Flood Risk)

North Lincolnshire Local Plan:

Policy H1 (Housing Development Hierarchy)

Policy H5 (New Housing Development)

Policy H8 (Housing Design and Housing Mix)

Policy T2 (Access to Development)

Policy T19 (Car Parking Provision and Standards)

Policy HE9 (Archaeological Evaluation)

Policy LC5 (Species Protection)

Policy LC11 (Areas of Amenity Importance)

Policy DS1 (General Requirements)

Policy DS14 (Foul Sewage and Surface Water Drainage)

Policy DS16 (Flood Risk)

Housing and Employment Land Allocations DPD:

Policy PS1 (Presumption in Favour of Sustainable Development)

CONSULTATIONS

Spatial Planning: The site is within the development limit of Ealand; housing development is therefore acceptable in principle.

The proposal conforms with policy CS8 of the Core Strategy (Spatial Distribution of Housing Sites), which states that new housing within rural settlements will create opportunities for small-scale infill development that maintains the viability of the settlement and meets identified local needs without increasing the need to travel.

The site is within SFRA Flood Zone 2/3a Tidal. A Flood Risk Assessment has been submitted as part of the application, which contains the required sequential and exception test in line with policy CS19 of the Core Strategy and the North Lincolnshire Development and Flood Risk Guidance Note (April 2013). The mitigation measures identified within the Flood Risk Assessment will provide safe development.

The application provides little justification on the loss of the LC11 designation and the impact this proposal will have on the character, visual amenity and wildlife value.

Ealand contains three out of the seven key facilities and services which include primary school, public house and village hall.

The proposal is contrary to the council's adopted development plan.

Highways: In principle the layout is acceptable and will afford space for a refuse vehicle to turn. On reflection the footpath is not really necessary as it does not connect with the highway and as such it would probably be more appropriate to create a shared surface along the entire length of the driveway. As the plot sizes are reasonably generous, Highways question the need for the visitor parking area. Whilst not against the idea in principle, they would have some concerns as to how it would be maintained.

The arrangement of the plots is such that no further development can be accessed from this private driveway. Advise a condition to reinforce this.

The section of drive running between the existing properties will need improving and widening to cater for the development. Propose a condition to this end.

Finally, the proposed development is for six dwellings wholly served by a private driveway and as such it will be necessary for the highway authority to issue the relevant exemptions to the APC's upon issue of building regulations approval should permission ultimately be granted.

Drainage (Lead Local Flood Authority): Initially objected due to insufficient drainage and flooding measures. Further to a recent meeting with the developer and the Internal Drainage Board, there are still a number of design issues that need resolving at detailed design stage (refer to notes to developer). Taking this into consideration, the LLFA withdraws its objection subject to the imposition of suitable conditions relating to surface water drainage, and relevant informatives.

Doncaster East Internal Drainage Board: Standard informative comments supplied advising surface water drainage to be agreed with the Lead Local Flood Authority.

Environment Agency: Proposed development would only meet NPPF requirements in relation to flood risk if a condition is included to ensure finished floor levels are set no lower than 4.4 metres above Ordnance Datum as stated in the submitted Flood Risk Assessment.

Environmental Protection: Recommend a condition requiring a phase 1 desk study into whether the land is contaminated.

The proposed development is situated in close proximity to residential dwellings. Noise generated during the construction phase has the potential to impact on residential amenity. Therefore, recommend the inclusion of a relevant condition.

Ecology: Bat and barn owl field signs have been recorded. Planning conditions are proposed to minimise harm to protected and priority species and habitats and to seek biodiversity enhancement in accordance with policy CS17 of the Core Strategy, the National Planning Policy Framework and Biodiversity Metric 2.0.

Historic Environment Record: The application lies within an area where archaeological remains are anticipated and construction works may disturb or destroy archaeological evidence. A programme of archaeological monitoring and recording should therefore be maintained during construction groundwork.

The applicant should submit a written scheme of investigation (WSI) for archaeological mitigation to be considered with this application. This procedure is in accordance with NPPF paragraph 199, and local planning policies CS6 and HE9. Where the planning authority is minded to grant consent prior to the submission of a mitigation WSI, pre-commencement conditions would be required to secure the archaeological mitigation scheme.

Recycling: Information provided for the attention of the applicant with relation to highway construction, and bin storage and collection.

TOWN COUNCIL

Crowle and Ealand Town Council previously strongly objected on grounds of flooding and drainage at this location. The council upholds and reiterates previous objections. 'Building on this site will have major detrimental effects in the area, with neighbouring properties especially being put at high risk from adverse effects from this application if permitted.'

PUBLICITY

Advertised by site notice. Twenty-one responses have been received, objecting to the application on the following grounds:

- discrepancy in the application details
- previous flooding and drainage issues in the area
- flood risk to surrounding properties
- overlooking risk
- insufficient access
- risk to protected species including bats and snakes
- existing pumping station incapable of supporting additional dwellings
- lack of local amenities
- biodiversity harm
- fails sequential and exception flood risk tests.

ASSESSMENT

Site description

The application site is a farm and fields located within the settlement boundary of Ealand behind a row of dwellings along Main Street.

The site is not within a conservation area, nor does it comprise a listed building. It is within SFRA Flood Zone 2/3 (a), meaning higher flood risk. The site also lies within a larger area of land allocated as LC11 (Area of Amenity Importance) in the North Lincolnshire Local Plan.

Recent planning history

PA/2017/1006: Outline planning permission for residential development of six building plots with access and layout not a reserved matter – refused, and subsequent appeal dismissed May 2019 for the following reason:

Insufficient information has been provided to demonstrate that the proposed development of six dwellings would not have an unacceptable impact on the existing drainage system and would not result in an increased risk of flooding to neighbouring properties. The proposal is therefore contrary to policy DS14 of the North Lincolnshire Local Plan, policy CS19 of the North Lincolnshire Core Strategy and paragraph 163 of the National Planning Policy Framework.

Proposal

Outline planning permission is sought to erect six detached dwellings served by a single cul-de-sac. The dwellings would sit within similarly sized plots, served by a footpath, with visitor parking along the eastern boundary.

Material considerations

The main issues in the determination of this planning application are the principle of the development and whether the site can be developed without having an adverse impact on the character of the area, including LC11 land. Other issues below will be considered based on the submitted information:

- **flood risk and drainage**
- **ecology**
- **contamination**
- **access**
- **layout**
- **indicative plans.**

The current application is effectively a revised resubmission of PA/2017/1006, which was refused due to flooding concerns – specifically a lack of information, with the decision upheld at appeal. The appeal inspector agreed with this decision and noted a lack of evidence in the submitted Flood Risk Assessment to demonstrate that the proposal met the sequential test for flood risk. Matters relating to flooding and drainage will be assessed in the report below with due regard to the site context, previous decision, objections raised, the submitted information and consultee responses.

Principle of development

As this is an outline application, the key consideration is the acceptability in principle of six dwellings on this site.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise. In this instance the development plan consists of the saved policies of the North Lincolnshire Local Plan (NLLP), the North Lincolnshire Core Strategy (NLCS) and the Housing and Employment Land and Allocations Development Plan Document (HELADPD). Material considerations exist in the form of national policy and guidance contained within the National Planning Policy Framework (NPPF) and the suite of documents comprising National Planning Practice Guidance (NPPG).

Policy CS1 of the Core Strategy sets out a spatial strategy for North Lincolnshire which seeks to support rural settlements as thriving sustainable communities, with a strong focus on retaining and enhancing local services to meet local needs, provided that any development that takes place should be in keeping with the character of the settlement.

Policy CS8 relates to the distribution of housing sites and prioritises development in Scunthorpe and the market towns, with brownfield sites and sites within development boundaries being the primary focus. With regard to rural settlements, the policy states that new housing will create opportunities for small-scale infill development that maintains the viability of the settlement and meets identified local needs without increasing the need to travel. CS8, whilst restricting housing outside development limits, contemplates some greenfield development as it refers to allowing development on such sites where it can be demonstrated that this would bring additional community benefits, contribute to building sustainable communities and be acceptable in terms of its impact on the high quality environment and adjoining countryside. This overall approach is supported by policy CS2 which sets out a sequential approach for development.

Notwithstanding the development plan policies set out above, the NPPF is a material consideration when determining planning applications. Central Government places high importance on new homes being delivered throughout the country to address the chronic shortage. Paragraph 11 of the NPPF sets out the presumption in favour of sustainable development, which gives increased weight where a five-year housing land supply has not been identified. The five-year housing land supply statement sets out North Lincolnshire Council's assessment of its supply of housing land from 1 April 2016 to 31 March 2021, having regard to Government guidance on how this is calculated. This report states that North Lincolnshire has a 3.9 year housing land supply of deliverable sites during the period April 2016 to March 2021. North Lincolnshire does not have an identified five-year housing supply, and therefore a tilted balance is applied in support of this application for six new housing units.

The site is within the development boundary of Ealand as shown in the Housing and Employment Land Allocations DPD and, as such, residential development in this location is acceptable in principle. The parcel of land is relatively large, and the submitted plans demonstrate that the land can accommodate six plots, together with adequate amounts of private amenity space, parking and access for all the new properties.

In considering the sustainability of a site, consideration must be given to the dimensions as outlined in paragraph 8 of the NPPF: economic, social and environmental.

The investment in construction and related employment would represent a small economic benefit, as would the support which the additional population would have the potential to produce for the local economy.

The proposed scheme would result in the delivery of six additional dwellings at the site which would help to contribute to the mix of housing types within the locality and would contribute towards meeting local need in North Lincolnshire more broadly.

The site is a socially sustainable location for residential development as it is within walking distance of the centre of Ealand. Ealand contains three out of the seven key facilities and services, which include primary school, public house and village hall – a residential development of this size is considered sustainable with regard to transport and services access. The site is also located on a bus route to Scunthorpe and is a ten minute walk or two minute cycle ride to the train station.

Environmentally, sufficient landscaping and a biodiversity management plan (as discussed below) could provide a net gain for biodiversity on the site. Careful design and landscaping could ensure environmental benefit.

It is considered that the proposal would meet the test of the three sustainability dimensions and would be a sustainable and suitable form of development within an existing settlement boundary. The proposal therefore accords with guidance in the NPPF and policies CS1, CS2, CS3 and CS8 of the Core Strategy subject to the considerations below.

Impact on LC11 Area of Amenity Importance

The application site falls within land covered by local plan policy LC11 – that is, an Area of Amenity Importance. Policy LC11 is aimed at controlling development within these areas to protect their open character and visual amenity. It states that within important amenity areas, development will only be permitted where it would not adversely affect their open character, visual amenity or wildlife value, or compromise the gap between conflicting land uses. Where development is permitted, measures shall be taken to minimise their impact or, where necessary, make a positive contribution to such areas.

The Spatial Planning team have commented on the application and are of the view that the application provides little justification on the loss of the LC11 designation and the impact this proposal will have on the character, visual amenity and wildlife value.

This area of the LC11 does, however, lie close to the existing built development in Ealand, and the development proposed would be a relatively modest extension of this, not encroaching significantly into the LC11 area. Part of the site area is presently occupied by buildings in its current form. Undoubtedly there would be an adverse impact on the openness and visual amenity of the land; however, due to the scale of the development, this is not considered unacceptably significant as to outweigh the overall acceptability in principle of the proposal, or to significantly harm the wider LC11 designation.

This was accepted by the case officer when assessing the previous scheme on this site, and also noted by the appeal inspector, who did not seek to refuse the appeal on the basis of LC11 impact. This impact forms part of the wider planning balance of the proposal and will be weighed against other negative and positive contributions considered in this report.

Landscaping and appearance are reserved matters, which would be fully assessed at that stage.

Ecology

Local plan policy LC5 states that planning permission will not be granted for development which would have an adverse impact on species protected by Schedules 1, 5 or 8 of the Wildlife and Countryside Act 1981 (as amended). Where there may be effect, planning conditions should ensure appropriate management of the impact. This policy is supported by Core Strategy 17, which seeks to ensure biodiversity net gain.

Concerns from local residents relating to impacts on bats and other species have been noted.

The council's ecologist initially reviewed this proposal and required a preliminary ecological appraisal to establish whether there was a need for detailed species surveys. Following an ecology report submitted by the applicant in January 2021 and reviewed by the ecologist, there is no objection to the application subject to adequate conditions. These conditions would require the submission of a species protection plan (with specific regard to the protection of any potential owls and bats within the buildings to be demolished), prior to any development affecting the existing garage or stables. A biodiversity management plan is also required by condition to be submitted within three months of commencement, detailing measures for biodiversity net gain on the site following completion of development.

Subject to the adequate addressing of these conditions, the proposal is acceptable on ecological grounds with a managed risk to wildlife and potential for biodiversity net gain. It is therefore considered to be in accordance with Core Strategy policy CS17 and local plan policy LC5.

Flood risk and drainage

The site lies within flood zone 2/3a according to the council's SFRA. The previous proposed scheme on this site was refused due to insufficient information being provided to demonstrate that the proposed development of six dwellings would not have an unacceptable impact on the existing drainage system and would not result in an increased risk of flooding to neighbouring properties.

There has been a significant level of objection to this application, the key concern being flood risk, concerns regarding surface water drainage and the impact of the proposal on the existing drainage/sewage network. It is therefore essential that any proposed development on this site does not exacerbate flood risk in the area, and provides an appropriate drainage scheme.

The current proposal has been reviewed by the Lead Local Flood Authority and the Environment Agency, with no outstanding objections from either, following the submission of a revised drainage plan (30/09/20), subject to conditions concerning site levels and surface water drainage.

The previous application (PA/2017/1006) case officer considered that the proposal for six dwellings on this site met the sequential test set out in the NPPF (paragraph 157). This requires evidence to be provided demonstrating that there are no suitable alternative sites in the area. The appeal inspector for the above took the view that the sequential test was not met as it did not consider the wider region for potential sites, and the area was limited to a smaller radius.

NPPF paragraph 158 states:

'The aim of the sequential test is to steer new development to areas with the lowest risk of flooding. Development should not be allocated or permitted if there are reasonably available sites appropriate for the proposed development in areas with a lower risk of flooding. The strategic flood risk assessment will provide the basis for applying this test. The sequential approach should be used in areas known to be at risk now or in the future from any form of flooding.'

The applicant has provided a supporting document outlining three sites in the vicinity, which they conclude are not reasonably available or appropriate. It is considered that the sequential test is passed in this case as the alternative sites identified in the Crowle and Ealand area are also within higher flood risk areas. It is considered that the subsequent exceptions test is also met in that the development would provide wider sustainability benefits to the community (vitality of the village of Ealand via modest growth) that outweigh the flood risk; and the development will be safe for its lifetime taking account of the vulnerability of its users, without increasing flood risk elsewhere, and, where possible, will reduce flood risk overall. Subject to adequate measures to avoid any increase in material flood risk, the development would provide net benefits to the area (social and economic) as discussed above, which would outweigh the siting within a high flood risk area.

With regard to the last point above, the drainage scheme has been revised to account for initial LLFA concerns, with drainage ditch improvements proposed. Strict conditions are proposed which require a further drainage strategy details to be submitted. The strategy should be based on the details and drainage plan agreed between the applicant and the LLFA and IDB. This plan provides for various mitigation and drainage measures including filter drains and water tanks, a culvert, ditch improvements to the drainage ditches to the west of the site and a new connecting drain to these improved ditches.

Appropriate site levels have been demonstrated on the submitted topographical plan which show the plots able to achieve a height of 4.4 metres AOD at finished floor level, with a maximum site level increase of 1.35 metres. This would reduce the risk of flooding within the site.

The proposed drainage plan, subject to the satisfaction of the further planning conditions, would reduce the risk of increased off-site flooding and would improve the existing drainage system in the area, offsetting the impact of the six new dwellings.

It is considered therefore, on balance, that the flood risk within and near to the site would be managed to an acceptable degree. As such, the benefits of sustainable development on this site and contribution to the housing shortfall outweigh the drawback of its location within a level 2/3a flood zone.

Land contamination

Policy DS7 is concerned with contaminated land. It states that permission will only be granted on contaminated sites where a detailed site survey has been submitted, and a suitable scheme of remedial measures has been agreed to overcome any existing contamination.

The Environmental Health team note that the application for residential development is a sensitive end use. In addition, they state that the site's former use as a farm provides reason to believe that contamination might be an issue. Agricultural sites have the potential

to be impacted upon by contaminants such as hydrocarbons, agrochemicals and asbestos, which are harmful to human health. They have requested a full site survey to establish any land contamination issues. This shall be secured by condition before the commencement of any works. Subject to there being no insurmountable contamination issues, there is no objection in this regard.

Access

Policy T2 of the North Lincolnshire Local Plan states that all development should be served by a satisfactory access. Policy T19 is concerned with parking provision as well as general highway safety; both policies are considered relevant.

The council's highways team have reviewed the submitted layout plan and have no objections subject to conditions requiring implementation of the access and parking as appropriate, prior to occupation.

The existing access has safe visibility onto the highway, and there is sufficient space for resident and visitor parking for the six plots. The proposed footpath would provide safe separation from traffic within the site, and provide a link to the footpath on the eastern side of Main Street and the village centre.

Layout

The six housing plots would have an average of 750 square metres in area. This is considered appropriate for the provision of a detached dwelling, off-street parking, and suitable outdoor amenity space in each case. The proposed layout would also adequately facilitate sufficient drainage measures within the site and to each plot.

The layout is considered appropriate in that impacts on the existing dwellings along Main Street could be controlled and avoided – these impacts will be addressed at reserved matters stage along with the scale and appearance of the dwellings.

Indicative plans

Policy DS1 is partly concerned with impacts upon residential amenity. It states, '...No unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing.' Impact on neighbouring residential amenity would be considered at the reserved matters stage. Based on the submitted plans, however, sufficient separation space could be achieved between respective habitable room windows so as to avoid overlooking, taking into account the modestly raised site levels to 4 metres, and 4.4 metre AOD finished floor levels.

Design and scale would be fully assessed at reserved matters stage if outline permission is granted.

Conclusion

This application for outline planning permission requires a careful balance between flood risk and the need for housing within North Lincolnshire. The site is within the development boundary and is broadly acceptable in principle.

Whilst the site is within an area at high risk of flooding, and existing drainage issues have been identified, it is considered that successful mitigation of this risk is achievable on site if carefully managed in accordance with the submitted drainage plan and with suitable planning conditions. The application meets the sequential and exceptions tests as set out in the National Planning Policy Framework. Furthermore, the lack of objection from the relevant flood and drainage authorities, following lengthy negotiations with the applicant, lends weight to the balance in favour of the acceptability of the proposal.

No other concerns have been identified which cannot be addressed via pre-commencement works or at the reserved matters stage.

Pre-commencement conditions

The pre-commencement conditions below have been agreed with the agent/applicant.

RECOMMENDATION Grant permission subject to the following conditions:

1.
Approval of the details of the scale and appearance of the buildings, and the landscaping of the site, (hereinafter called 'the reserved matters') shall be obtained from the local planning authority in writing before any development is commenced.

Reason

The application has been made under Article 5(1) of the Town & Country Planning (Development Management Procedure) (England) Order 2015.

2.
Plans and particulars of the reserved matters referred to in condition 1 above, relating to the scale and appearance of any buildings to be erected, and the landscaping of the site, shall be submitted in writing to the local planning authority and shall be carried out as approved.

Reason

The application has been made under Article 5(1) of the Town & Country Planning (Development Management Procedure) (England) Order 2015.

3.
Application for approval of the reserved matters shall be made to the local planning authority before the expiration of three years from the date of this permission.

Reason

To comply with the provisions of Section 92 of the Town and Country Planning Act 1990.

4.
The development hereby permitted shall be begun either before the expiration of five years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason

To comply with the provisions of Section 92 of the Town and Country Planning Act 1990.

5.

The development hereby permitted shall be carried out in accordance with the following approved plans: EWE/2561/01 Rev A - SW & FW Drainage; 985-20 - Location and Proposed Block Plan.

Reason

For the avoidance of doubt and in the interests of proper planning.

6.

The development shall be carried out in accordance with the submitted flood risk assessment (Howard J Wroot Chartered Surveyor, 07/04/2020) and the following mitigation measures it details:

- finished floor levels shall be set no lower than 4.4 metres above Ordnance Datum (AOD) as stated within section 4.2.ii.

These mitigation measures shall be fully implemented prior to occupation, and subsequently retained and maintained thereafter throughout the lifetime of the development.

Reason

To reduce the risk and impact of flooding to the proposed development and future occupants, in accordance with the North and North East Lincolnshire Strategic Flood Risk Assessment (2011) and the National Planning Policy Framework (2019).

7.

No demolition or development affecting the existing garage or stables, as identified in the submitted Preliminary Ecological Appraisal Report, shall take place until a species protection plan has been submitted to and approved in writing by the local planning authority. The plan shall include:

- (a) the results of at least one bat emergence/re-entry survey of all buildings to be altered or demolished. The bat survey shall be carried out between May and August in accordance with section 7.1 of Collins, J. (ed) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The survey report shall indicate what mitigation measures are to be undertaken in the event of one or more bat roosts being discovered, including details of any licenses required to legitimise the proposed works;
- (b) details of measures to avoid harm to bats, barn owls, hedgehogs and nesting birds during demolition, vegetation clearance and construction works.

Reason

To protect features of recognised nature conservation importance in accordance with saved policy LC5 of the North Lincolnshire Local Plan and policy CS17 of the Core Strategy.

8.

Within three months of the commencement of development, the applicant or their successor in title shall submit a biodiversity management plan to the local planning authority for approval in writing. The plan shall cover the land within the red and blue line boundaries shown on the submitted location plan and shall include:

- (a) details of at least two bat roosting features to be installed;
- (b) details of nesting sites to be installed to support house martins, house sparrows and starlings;
- (c) restrictions on lighting to avoid impacts on bat roosts, bat foraging areas, bird nesting sites and sensitive habitats;
- (d) provision for hedgehogs to pass through any fencing installed between gardens and between areas of grassland;
- (e) prescriptions for the planting and aftercare of native trees and shrubs of high biodiversity value;
- (f) details of wetland habitat to be created as part of sustainable drainage;
- (g) details of how the measures proposed will provide at least 10% biodiversity net gain in accordance with the Defra biodiversity metric 2.0;
- (h) proposed timings for the above works in relation to the completion of the buildings.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the Core Strategy.

9.

The biodiversity management plan and species protection plan shall be carried out in accordance with the approved details and timings, and the approved features shall be retained thereafter, unless otherwise approved in writing by the local planning authority. Prior to the occupation of the sixth dwelling, the applicant or their successor in title shall submit a report to the local planning authority, providing evidence of compliance with the biodiversity management plan and species protection plan.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the Core Strategy.

10.

No development shall commence until a detailed surface water drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The drainage scheme shall accord with the approved drainage plan EWE/2561/01 Rev A (02/02/21) unless otherwise agreed in writing by the local planning authority and shall be based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development.

The drainage scheme shall take into account the notes to developer included within the LLFA Drainage response dated 26/10/2020 and demonstrate that surface water run-off generated up to and including the 1 in 100 year critical storm (including an allowance for climate change) will not exceed the run-off from the existing site. It shall also include details

of how the resulting completed scheme is to be maintained and managed for the lifetime of the development.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

11.

The drainage scheme shall be implemented in accordance with the approved submitted details required by condition 10 above, completed prior to the occupation of any dwelling or building within each phase or sub-phase of the development on site and thereafter retained and maintained in accordance with the scheme for the life of the development unless otherwise agreed in writing with the local planning authority.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

12.

No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraph 163 of the National Planning Policy Framework.

13.

No development shall take place until details showing an effective method of preventing surface water run-off from the highway onto the developed site is submitted to and approved in writing by the Local Planning Authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with Policy DS16 of the North Lincolnshire Councils Local Plan & Policies CS18 and CS19 of the North Lincolnshire Councils Core Strategy and paragraphs 155, 157, 163 & 165 of the NPPF.

14.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of an archaeological mitigation strategy, to be defined in a

written scheme of investigation that has been submitted to and approved in writing by the local planning authority. The strategy shall accord with a brief provided by North Lincolnshire Historic Environment Record and shall include details of the following:

- (i) measures to ensure the preservation by record of archaeological features of identified importance
- (ii) methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts
- (iii) post-fieldwork methodologies for assessment and analyses
- (iv) report content and arrangements for dissemination, and publication proposals
- (v) archive preparation and deposition with recognised repositories
- (vi) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (vii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record of the commencement of archaeological works and the opportunity to monitor such works
- (viii) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

15.

The applicant shall notify the local planning authority in writing of the intention to commence the archaeological site works at least one week/seven days before commencement. Thereafter, the archaeological mitigation strategy shall be carried out in accordance with the approved details and timings.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be

prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

16.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record within six months of the date of completion of the development hereby approved by this permission or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

17.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken in accordance with details to be submitted to and approved in writing by the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

18.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking and turning space serving it have been completed and, once provided, the vehicle parking and manoeuvring space shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

19.

At no time shall any more than six dwellings be served by the proposed private driveway as indicated within the application.

Reason

In the interests of highway safety and to comply with policies T2 of the North Lincolnshire Local Plan.

20.

Part 1: Site Characteristics

A Phase 1 desk study shall be carried out to identify and evaluate all potential sources of contamination and the impacts on land and/or controlled waters, relevant to the site. The desk study shall establish a 'conceptual model' of the site and identify all plausible pollutant

linkages. Furthermore, the assessment shall set objectives for intrusive site investigation works/Quantitative Risk Assessment (or state if none required). Two full copies of the desk study and a non-technical summary shall be submitted to the local planning authority for approval prior to proceeding to further site investigation.

An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the local planning authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the local planning authority. The report of the findings must include:

- (i) a survey of the extent, scale and nature of contamination;
- (ii) an assessment of the potential risks to:
 - human health;
 - property (existing or proposed), including buildings, crops, livestock, pets, woodland, and service lines and pipes;
 - adjoining land;
 - groundwaters and surface waters;
 - ecological systems;
 - archaeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and a proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the management of Land Contamination, CLR 11'.

Part 2: Submission of Remediation Scheme

A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared, and is subject to the approval in writing of the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Part 3: Implementation of Approved Remediation Scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the local planning authority. The local planning authority must be given two weeks' written notification of commencement of the remediation scheme works. Following completion of measures identified in the approved remediation

scheme, a verification report (referred to in PPS23 as a validation report) that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the local planning authority.

Part 4: Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Part 1, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Part 2, which is subject to the approval in writing of the local planning authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the local planning authority in accordance with Part 3.

Reason

In the interests of the safety of construction workers and future site users.

21.

Construction operations shall be limited to the following hours:

- 8am to 6pm Monday to Friday
- 8am to 1pm on Saturdays.

No construction operations shall take place on Sundays or public/bank holidays.

HGV movements shall not be permitted outside these hours during the construction phase without prior written approval from the local planning authority.

Installation of equipment on site shall not be permitted outside these hours without prior written approval from the local planning authority.

Reason

For the protection of residential amenity in accordance with policy DS1 of the North Lincolnshire Local Plan.

Informative 1

Records indicate that the proposed development site is bounded by, or has running through it, a watercourse (surface water pipe/culvert or ditch). Following inspection, the watercourse may need to be cleared, replaced, protected or diverted by the landowner at their expense in accordance with their riparian responsibilities. An easement adjacent to the watercourse may need to be provided for future maintenance. Any other drainage feature found during excavations must be immediately reported to the LLFA Drainage Team on 01724 297522, prior to any further construction works being carried out. Please refer to North Lincolnshire Council's 'Guide to Watercourses and Riparian Ownership', which details riparian rights and responsibilities:

<http://m.northlincs.gov.uk/public/publications/RiparianGuidance/index.html#page=1>.

Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

Informative 2

Alterations to the watercourse network passing through and surrounding the site must be consented by the local Internal Drainage Board through an Ordinary Watercourse Consent and appropriate discharge rates must be agreed. Please contact the LLFA Drainage team on 01724 297522 or by email to llfadrainageteam@northlincs.gov.uk for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

Informative 3

Connection into the 600 millimetre diameter drain on Main Street is a council asset and this must be consented by the LLFA Drainage Team through an Ordinary Watercourse Consent and appropriate discharge rates must be agreed (not exceeding 5 litres/second). Please contact the LLFA Drainage team on 01724 297522 or by email to llfadrainageteam@northlincs.gov.uk for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

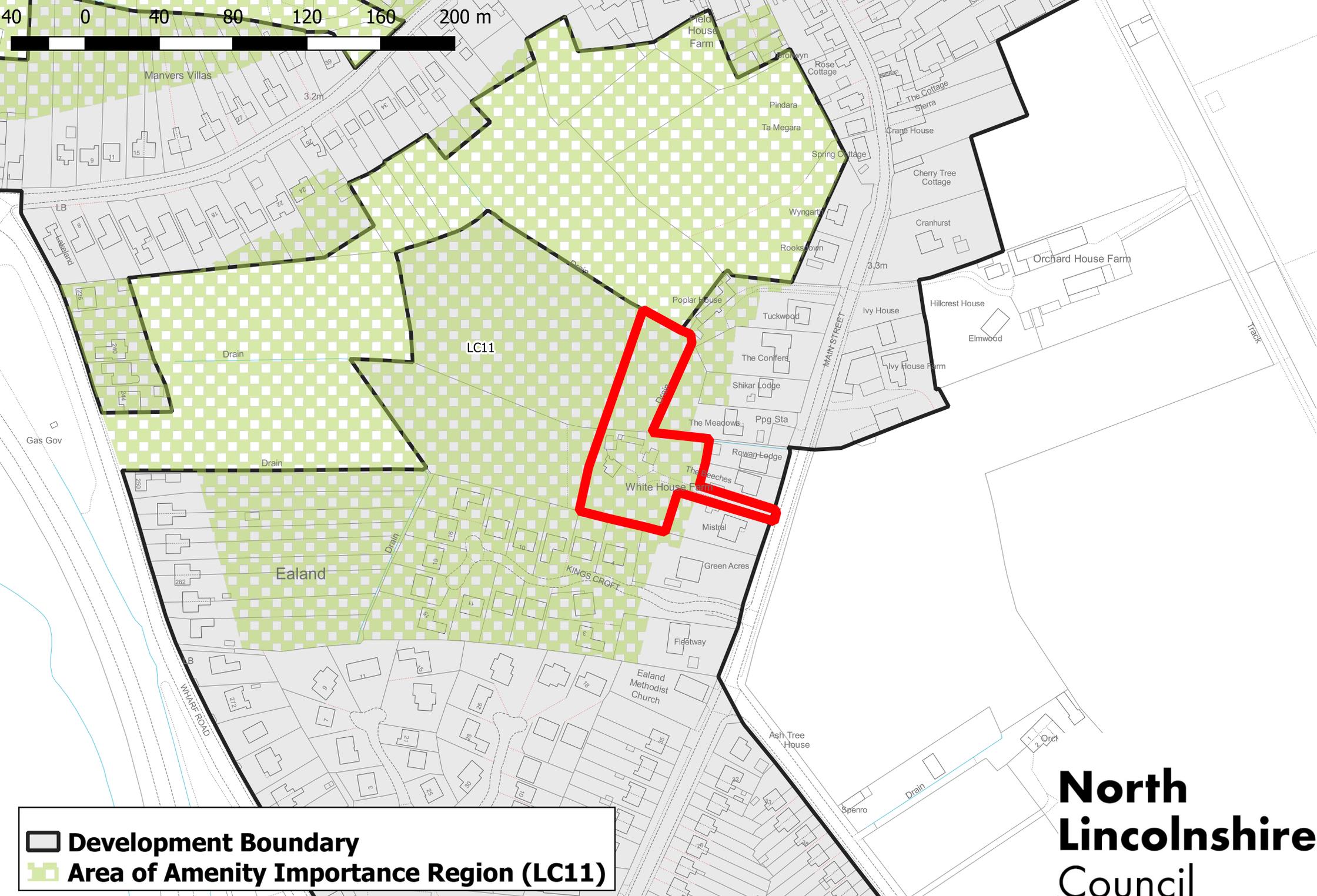
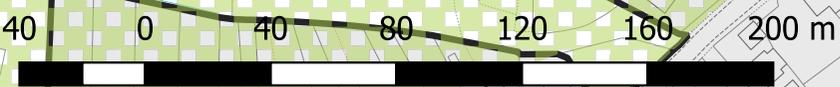
Informative 4

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 5

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



 **Development Boundary**
 **Area of Amenity Importance Region (LC11)**

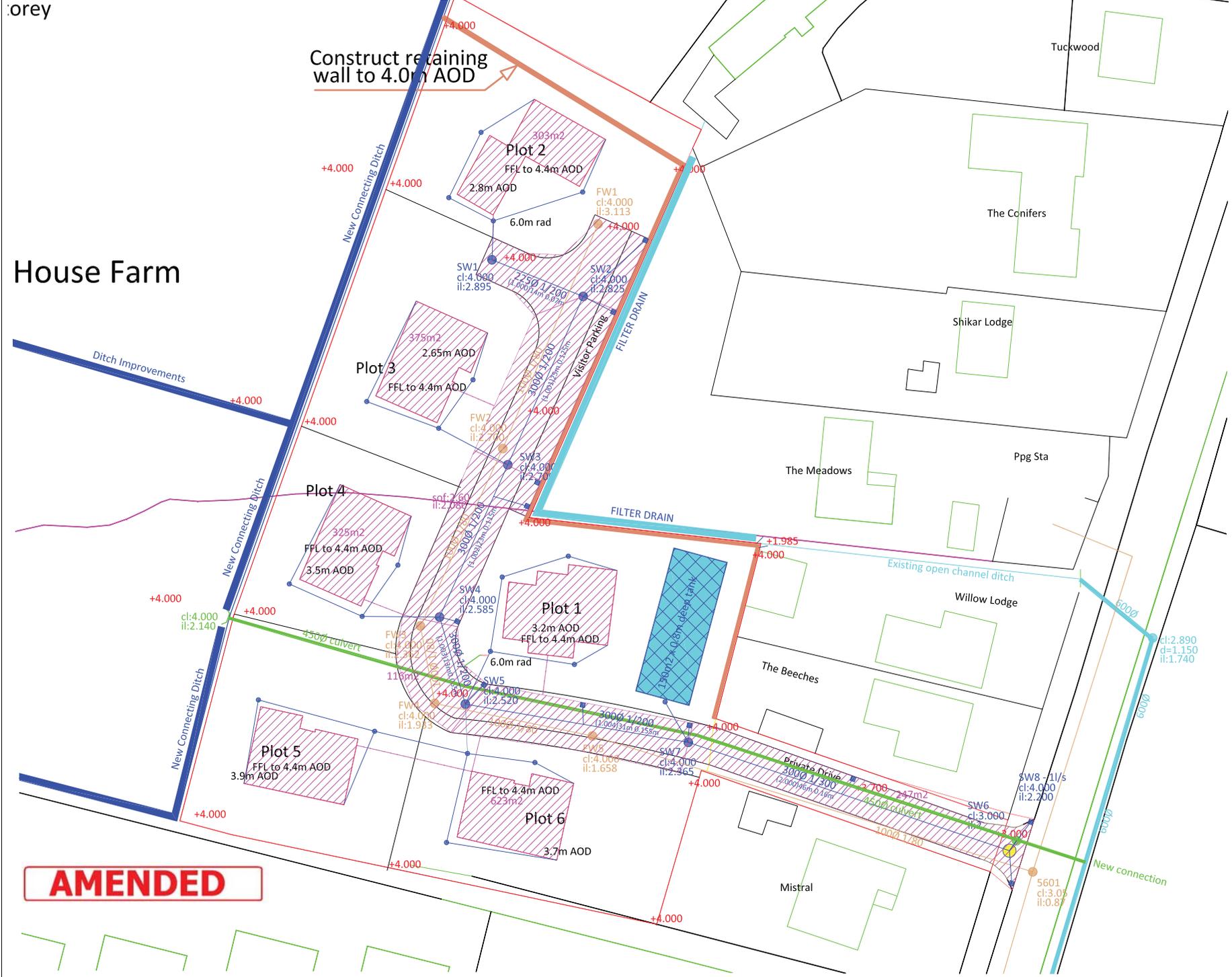
**North
Lincolnshire
Council**

PA/2020/613

2 PA/2020/613 Proposed layout/drainage (not to scale)

orey

House Farm



NOTES

1. Driveway and car park surfacing design and construction to Engineer's Specification (by others).
2. All dimensions are in millimetres unless otherwise stated.
3. Pre-cast concrete products shall comply with the relevant provisions of BS 5911 and be "Kite-Marked".
4. Manhole covers and frames, grids and frames shall comply with the relevant provisions of BS EN 124. D400 class manhole cover to be used within trafficked areas. A15 class manhole cover to be used in untrafficked areas.
5. Do not scale from this drawing, if in doubt ask.

Proposed Discharge rate of 1l/s based on practical minimum.
Occupier should undertake inspection of control manholes upstream and clear when required.

KEY:

- Roofed and Paved Areas draining to grate tank 1.000m². Roofed areas to sealed downpipes.
- Total Site Area 6000m²
- SW FPIC Manhole
- SW Concrete Manhole with 300mm deep sump and control of 1l/s
- FW FPIC Manhole
- Proposed Grate Tank 1.50m² by 0.6m deep with minimum 0.6m cover. 100yr+CC50% peak volume during duration of 1200 minutes.
- Existing Public Culverted Watercourse
- Proposed culvert extension through site 450Ø
- Indicative Levels
- Headwall into watercourse
- Proposed Gully

REV	DESCRIPTION	DATE
0	For Approval	29/03/20
A	For Approval	02/02/21

EWE Associates Ltd
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 7 Wavensy Close
 Burton Upon Stather
 Scunthorpe
 DN15 5DT
 Tel: 07875 972270
 Email: lea.favill@eweassociates.com

PROJECT	White House Farm Ealand Crowle	
CLIENT	Mr Peter Milner	
DRAWING TITLE	SW & FW Drainage	
SCALE	1:250	DATE 02/02/21
DRAWN BY	CHECKED BY	REVISION
LjF	JF	A
DRAWING No	EWE/2561/01	

AMENDED

Planning drawing