

APPLICATION NO PA/2020/1729

APPLICANT Mr Daniel Smith

DEVELOPMENT Planning permission to erect a first-floor extension to the front and a two-storey extension with balcony to the rear, with associated external alterations

LOCATION Cemetery Lodge, 30 Wrawby Road, Brigg, DN20 8DT

PARISH Brigg

WARD Brigg and Wolds

CASE OFFICER Scott Jackson

SUMMARY RECOMMENDATION **Grant permission subject to conditions**

REASONS FOR REFERENCE TO COMMITTEE Objection by Brigg Town Council

POLICIES

National Planning Policy Framework: Paragraph 124 states that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

North Lincolnshire Local Plan: Policies DS1 and DS5 apply.

North Lincolnshire Core Strategy: Policies CS1, CS2 and CS5 apply.

CONSULTATIONS

Highways: No objection.

Drainage (Lead Local Flood Authority): No objection or comments.

Environmental Protection: No objection, but recommend a condition.

TOWN COUNCIL

Object on the grounds that the materials proposed are not in keeping with the existing building.

PUBLICITY

A site notice has been displayed and one response has been received objecting to the proposals on the following grounds:

- the building is characterful and deserves to be treated respectfully

- it will have jarring features which will be out of keeping with the street scene
- the rear of the house is visible from within the cemetery and deserves to be extended sympathetically
- the materials and features ignore the simple form and construction of the existing house
- the design and materials are inappropriate.

ASSESSMENT

The application site consists of a two-storey detached dwelling which forms the entrance gatehouse to the cemetery on Wrawby Road in Brigg. The original part of the dwelling has a number of external features which add to its character including arched window and door frames, bay window to the front, stone cills and lintels with quoin detailing to the window flanks, an oriel window and tower with gable detailing and coping stones. It has been extended with a two-storey red brick and slate tile extension to the side and the garden is located to the front and side with parking available to the front. Planning permission is sought to erect a first-floor extension to the front and a two-storey extension with balcony to the rear.

The main issues in the determination of this application are the impact on the character and appearance of the building/street scene and upon residential amenity.

Impact on building/street scene

The most visually prominent aspect of the proposals is the erection of a first-floor extension to the front of the dwelling. This will occupy a position forward of the two-storey side extension and above the existing single-storey sloping roof projection. The plans have been amended and show the extension to the principal elevation to be finished in vertical timber cladding with a bay window projection at ground floor and a gable projection, which is of similar roof pitch to the original dwelling, immediately to the west of the principal elevation. The inclusion of the bay window to the front adds visual interest and a sense of balance to the appearance of the dwelling. The inclusion of the projecting gable feature and the bay window to the front elevation of this extension replicates the appearance of the principal elevations of the pairs of semi-detached houses immediately to the east of the site along the southern side of Wrawby Road. Some of the design cues have therefore been taken from existing houses in this part of Brigg.

The position and size of the windows are considered proportionate to those along the principal elevation of the original part of the dwelling and the reduced height of the gable projection in the front roof slope ensures the original dwelling and its architectural features remain visually dominant and legible in the street scene (when viewed from Wrawby Road). It is noted that the use of timber cladding introduces another material to the external appearance of the dwelling; however, this is a small section at first-floor level which will weather into a grey colour over time thereby ensuring visual assimilation with the colouring of the roof tiles (slate) and the grey aluminium window and door fittings in the extended parts of the dwelling. In addition, the colouring of the timber cladding, when first introduced will be reddish/brown; this will ensure the appearance of the front extension is similar to that of the existing dwelling in its extended form. Given this extension will not protrude any further forward than the principal elevation of the original dwelling, that its ridge line will be positioned lower than the main ridge line of the dwelling, that the window openings will be

proportionate to the size of the existing openings and that the original dwelling will remain visually predominant, the proposed first-floor extension to the front is not considered to result in an alien or discordant feature in the street scene.

It is worth noting that the amended plans have removed the proposal to erect a flat-roof addition to the front of this dwelling. The amended proposal is considered more acceptable in visual amenity terms.

It is also proposed to erect a two-storey extension to the rear of the dwelling. This is of a tower design with a feature window of vertical proportions extending between the top section of the ground-floor window to a position level with the slit window in the original part of the house. The inclusion of this feature window adds visual interest to the rear elevation of the dwelling when viewed from within the cemetery to the south and southwest. The width of the tower is similar to the existing tower feature to the west and the reduced height of this feature ensures the tower, with its oriel window on the original part of the house remains visually predominant in the street scene. The inclusion of the smaller slit windows in the eastern and western sides of the proposed two-storey extension adds a sense of balance and mimics the proportions of the larger feature window proposed in the southern elevation (of the extension). The inclusion of the balcony with a glass screen to its eastern edge adds a modern feature to the rear elevation of the building but this will be screened to the rear of the site and will be attached to the modern addition to the dwelling (the existing two-storey side extension). In conclusion, it is considered that these modern additions to both the front and rear of the dwelling will not jar visually with the original features of the house and will not form alien or discordant features in the street scene or from within the cemetery. In addition, the original part of the dwelling, with its architectural detailing, will remain visually dominant and legible in the street scene and therefore, on this basis, no issues are raised in relation to the design, siting or height of these extensions.

Residential amenity

No habitable room windows are proposed in the side elevations on the first floor of the extensions, therefore no overlooking will take place. The main issue is the inclusion of the balcony and the potential for this to result in overlooking of the gardens to the east; this includes the new dwelling approved on the site to the east under planning application PA/2018/971. The plans show the inclusion of a glass screen to be positioned along the eastern side of the balcony and this extends in height to level with the eaves. Given the potential for overlooking of residential gardens to the east, it is considered both necessary and reasonable that this glass screen is fitted with obscure glazing to a minimum obscuration level 4 in accordance with the Pilkington Scale of Obscuration and that it is a minimum of 2 metres in height from the floor of the balcony it will serve. The remainder of the balcony will have an outlook to the south and west; this is across the cemetery and no issues are raised in relation to overlooking in this regard.

Conclusion

It is considered that these modern additions to both the front and rear of the dwelling will not jar visually with the original features of the house and will not form alien or discordant features in the street scene or from within the cemetery. In addition, with the necessary conditions in place it is considered that the proposed development will not result in overlooking towards the gardens of neighbouring properties to the east. The application is therefore recommended for approval.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans: T559-001 B, T553-004 B, T553-005 B, T559-007 B and TQRQM20301151237141.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

The balcony hereby approved shall not be brought into first use until the glass screen shown on drawing T533-005 B has been installed with obscure glazing to a minimum code level 4 in accordance with the Pilkington Scale of Obscuration at a height of 2 metres from the floor level of the balcony along its eastern side and once installed it shall thereafter be retained.

Reason

To define the terms of the permission and in the interests of safeguarding residential amenity in accordance with policies DS1 and DS5 of the North Lincolnshire Local Plan.

4.

Notwithstanding the materials schedule outlined in section 5 of the planning application form, the roof of the extensions hereby permitted shall be constructed from tiles to match the colour and appearance of the existing roof of the dwelling and once constructed it shall thereafter be retained.

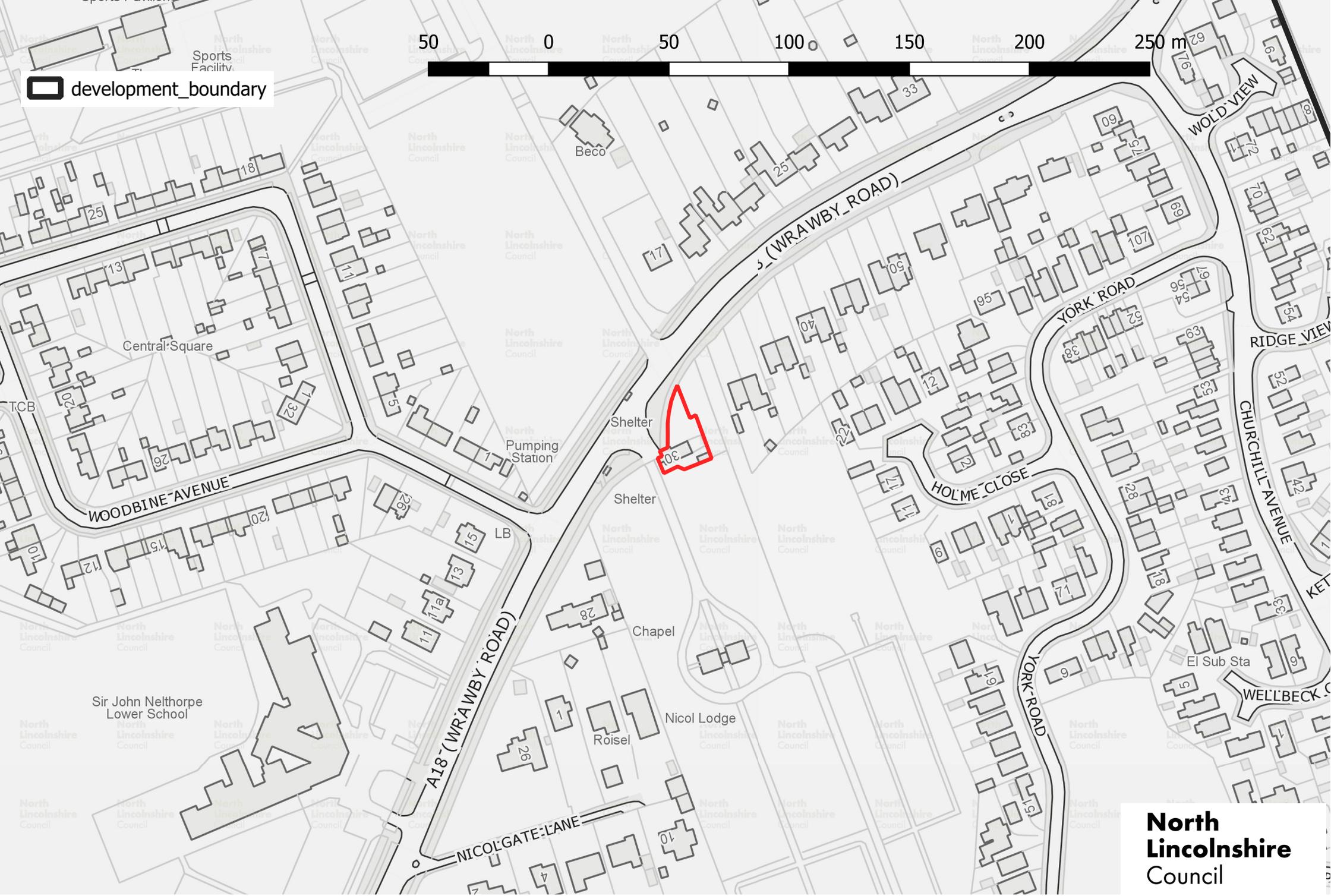
Reason

To define the terms of the permission and in the interests of visual amenity in accordance with policies DS1 and DS5 of the North Lincolnshire Local Plan and CS5 of the adopted Core Strategy.

Informative

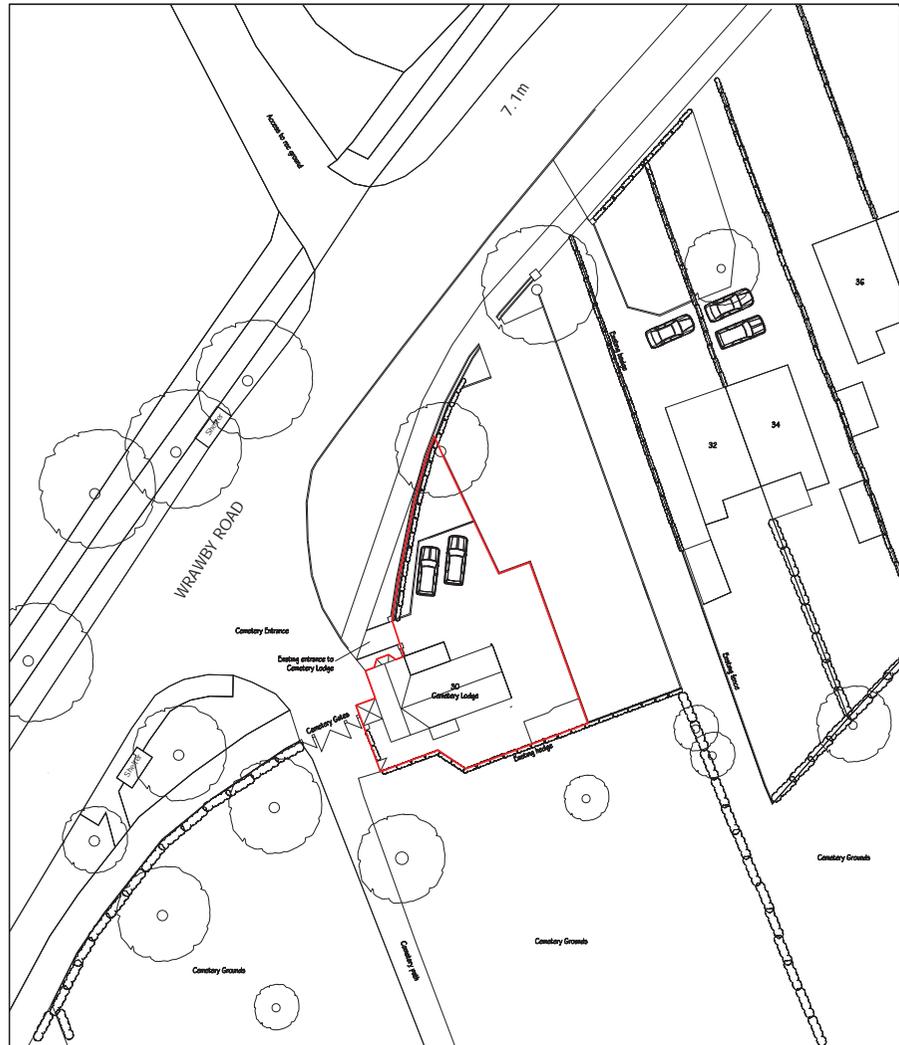
In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

development_boundary



North
Lincolnshire
Council

AMENDED



AMENDED

BLOCK PLAN

B PLANS AND ELEVATIONS MODIFIED. RE-ISSUED FOR PLANNING PURPOSES A ISSUED FOR PLANNING PURPOSES		DJS	--	--	04/02/20	Client D SMITH CEMETERY LODGE WRAWBY ROAD, BRIGG	Project PROPOSED EXTENSION TO: CEMETERY LODGE, WRAWBY ROAD BRIGG, NORTH Lincs, DN208DT	Status PLANNING Scale 1:250	D. SMITH CEMETERY LODGE WRAWBY ROAD BRIGG, NORTH LINCOLNSHIRE DN20 8DT smithd@rogmail.com	BLOCK PLAN Dwg No T559-001 REV B
Rev	Revision Note	By	Checked	Approved	Date					

Proposed Extension Construction Notes:

- Walls - Contemporary timber cladding
- Roof - Grey Slate to match existing roof.
- Windows - Anthracite grey aluminium/amber double glazed units
- External windows to have frosted glass
- Window Reveals - Anthracite grey
- Doors - Anthracite grey aluminium/amber double glazed units
- Rawlplug Goods - Black UPVC 'batwing' style as per existing

AMENDED



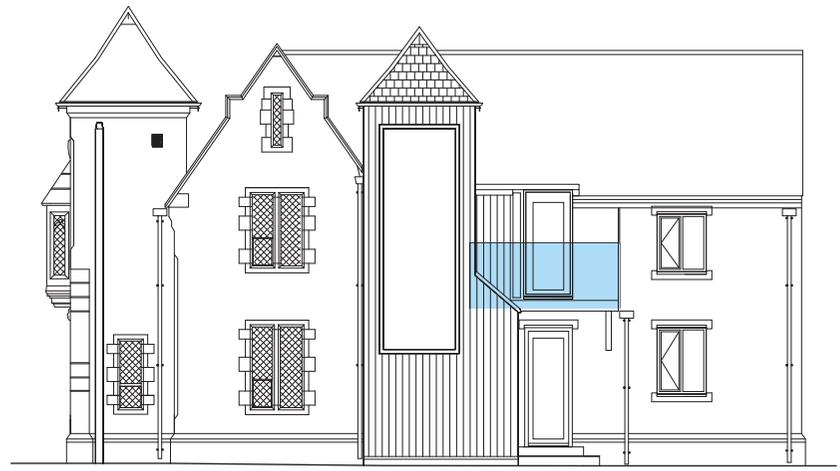
Proposed North Elevation

All windows in 'existing' extension to be replaced with high energy efficiency windows as per new spec.



Proposed West Elevation

AMENDED



Proposed South Elevation



Proposed East Elevation

1255mm wide french doors to be replaced with 2100mm folding sliding doors

Rev	Revision Note	By	Checked	Approved	Date
B	PLANS AND ELEVATIONS MODIFIED. RE-ISSUED FOR PLANNING PURPOSES	DJS	--	--	04/02/20
A	ISSUED FOR PLANNING PURPOSES	DJS	--	--	10/06/20

Client
D SMITH
CEMETERY LODGE
WRABBY ROAD, BRIGG

Project
PROPOSED EXTENSION TO:
CEMETERY LODGE, WRABBY ROAD
BRIGG, NORTH LINC'S, DN208DT

Status
PLANNING

Scale
 1:50

D. SMITH
 CEMETERY LODGE
 WRABBY ROAD
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 01623 83827 ds@smithytdg.com

PROPOSED ELEVATIONS

Dwg No **T533-005** REV **B**

AMENDED



Existing Front Elevation



Proposed Front Elevation



Proposed Elevation From Wrawby Road



Existing Front Elevation



Proposed Front Elevation



Proposed Elevation From Cemetery

AMENDED



Existing Rear Elevation



Proposed Rear Elevation



Proposed Rear Elevation Showing Balcony

Rev	Revision Note	By	Checked	Approved	Date
B	PLANS AND ELEVATIONS MODIFIED. RE-ISSUED FOR PLANNING PURPOSES	DJS	---	---	04/02/20
A	ISSUED FOR PLANNING PURPOSES	DJS	---	---	10/06/20

Client
D SMITH
CEMETERY LODGE
WRAWBY ROAD, BRIGG

Project
PROPOSED EXTENSION TO:
CEMETERY LODGE, WRAWBY ROAD
BRIGG, NORTH Lincs, DN208DT

Status
PLANNING

Scale
 1:50

D. SMITH
 CEMETERY LODGE
 WRAWBY ROAD
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PROPOSED VISUALISATIONS

Dwg No **T533-006** REV **B**