

APPLICATION NO	PA/2021/68
APPLICANT	Ms Jane Leach
DEVELOPMENT	Planning permission to erect a detached dwelling and detached double garage with office space above
LOCATION	The Old Cottage, 32 Church Street, Elsham, DN20 0RG
PARISH	Elsham
WARD	Brigg and Wolds
CASE OFFICER	Kevin Robinson
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Member 'call in' (Cllrs Rob Waltham and Carl Sherwood – significant public interest) Objection by Elsham Parish Council

POLICIES

Paragraph 11: Plans and decisions should apply a presumption in favour of sustainable development.

For plan-making this means that:

- (a) plans should positively seek opportunities to meet the development needs of their area, and be sufficiently flexible to adapt to rapid change;
- (b) strategic policies should, as a minimum, provide for objectively assessed needs for housing and other uses, as well as any needs that cannot be met within neighbouring areas, unless:
 - (i) the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for restricting the overall scale, type or distribution of development in the plan area; or
 - (ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

For decision-taking this means:

- (c) approving development proposals that accord with an up-to-date development plan without delay; or
- (d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

- (i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
- (ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

Paragraph 12: The presumption in favour of sustainable development does not change the statutory status of the development plan as the starting point for decision making. Where a planning application conflicts with an up-to-date development plan (including any neighbourhood plans that form part of the development plan), permission should not usually be granted. Local planning authorities may take decisions that depart from an up-to-date development plan, but only if material considerations in a particular case indicate that the plan should not be followed.

Paragraph 34: Plans should set out the contributions expected from development. This should include setting out the levels and types of affordable housing provision required, along with other infrastructure (such as that needed for education, health, transport, flood and water management, green and digital infrastructure). Such policies should not undermine the deliverability of the plan.

Paragraph 38: Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible.

Paragraph 47: Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Decisions on applications should be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing.

Paragraph 56: Planning obligations must only be sought where they meet all of the following tests:

- (a) necessary to make the development acceptable in planning terms
- (b) directly related to the development
- (c) fairly and reasonably related in scale and kind to the development.

North Lincolnshire Local Plan: DS1, DS7, DS11, RD2, H10, C1, T2, T19, HE9, LC7.

North Lincolnshire Core Strategy: CS1, CS2, CS3, CS5, CS6, CS9, CS17, CS18, CS22, CS26.

CONSULTATIONS

Tree Officer: No objections raised. Requests a condition to ensure that the root protection areas are provided during construction works.

Highways: No objections raised subject to a condition relating to access.

Drainage (Lead Local Flood Authority): No objection raised. Request a condition relating to details for drainage of the site and an informative relating to neighbouring water courses.

Environmental Protection: No objection raised. Request a condition relating to any unforeseen contamination discovered during construction works.

Historic Environment Record: Where the planning authority is minded to grant consent, any permission should be subject to conditions securing the implementation of an agreed written scheme of investigation (WSI); pre-commencement conditions would only be necessary where an agreed WSI is not in place.

Conservation: No objection raised to the amended scheme. The form and appearance of the buildings has improved with the reduction in volume. It has the appearance of a farmhouse that has been extended with a succession of smaller extensions typical of a period property. The outbuilding is smaller and compact and won't stand out appreciably. The land form and existing planting serve to diminish the prominence. Conditions for materials and window detailing are requested.

PARISH COUNCIL

Objects, making the following comments:

- outside the development boundary – development limits have been set, in part, to ensure that access to facilities, services and infrastructure is maintained, and that levels do not exceed their respective capacities
- to grant planning permission would set a precedent to allow more building outside the development boundary, which is there to protect those parts of the village
- too close to listed buildings in the most historic part of the village and the size of the proposed building would be out of keeping with them
- out of keeping with the rural appearance of that part of the village
- flooding and sewerage issues in this area
- are heritage, archaeological, wildlife and environmental surveys required?
- traffic safety
- vehicles coming round the blind bend will not see cars emerging from the new drive
- delivery vehicles will block the road as it is narrow at this point
- close to a corner and steep drop.

PUBLICITY

Advertised by site and press notice. Ten responses have been received objecting to the proposal on the following grounds:

- the size and scale of the proposed dwelling and garage
- precedent for future applications
- impact on local utilities, sewers and drains running through the site
- impact on local ecology
- impacts on neighbour amenity
- impact on listed building
- highway safety
- the site is outside the settlement limits.

ASSESSMENT

The key considerations for this type of development in this location and at this time, given the current five-year housing land supply, are:

- **the principle of the proposed development;**
- **impact upon the character and form of the locality;**
- **highway safety;**
- **residential amenity;**
- **flooding and drainage;**
- **ecology.**

Principle of the proposed development

The application site abuts the edge of the development limits of Elsham which is formed tightly around the residential core to the north and west of the proposal site.

The development plan for North Lincolnshire comprises three parts: those policies of the North Lincolnshire Local Plan (2003) (LP) which were saved by a direction of the Secretary of State in September 2007, the North Lincolnshire Core Strategy DPD (2011) (CS), and the Housing and Employment Land Allocations DPD (2016) (HELAP).

Policy CS1 of the Core Strategy sets out the overarching spatial strategy for North Lincolnshire, which, amongst other matters, provides that rural settlements will be supported as thriving sustainable communities, with a strong focus on retaining and enhancing local services to meet local needs and that any development that takes place should be in keeping with the character and nature of the settlement.

Policy CS8 deals with the distribution of housing sites and prioritises development in Scunthorpe and the market towns and rural settlements to a lesser extent, with brownfield sites and sites within development boundaries being the primary focus. Policy CS8, whilst restricting housing outside development limits, contemplates some greenfield development

as it refers to allowing development on such sites where it can be demonstrated that this would bring additional community benefits, contribute to building sustainable communities and be acceptable in terms of its impact on the high quality environment and adjoining countryside. This overall approach is supported by policy CS2 which sets out a sequential approach for development.

Policy CS3 provides that development limits will be defined in future development plan documents. Outside these boundaries, development will be restricted to that which is essential to the functioning of the countryside. The development limits were subsequently defined in the HELAP, and the application site is located outside the designated development limit for Elsham.

Local plan saved policy RD2 restricts development in the open countryside other than in exceptional circumstances. This policy only supports residential development outside defined development limits where it is to meet an essential proven need and the open countryside is the only appropriate location for the development. Whilst this policy remains part of the development plan, it has largely been overtaken by policies in subsequent plans addressing the same issue (such as policies CS2 and CS3 referenced above).

The aforementioned policies are aimed at focusing housing within settlement limits as defined in the HELA DPD. The application site is entirely outside the defined development boundary and is therefore in breach of policies CS2, CS3 and CS8 of the CS and RD2 of the North Lincolnshire Local Plan.

Notwithstanding the development plan policies set out above, the NPPF is a material consideration when determining planning applications. Paragraph 11(d) of the NPPF states that housing applications should be considered in the context of the presumption in favour of sustainable development. Where the local planning authority cannot demonstrate a five-year supply of deliverable housing sites, relevant policies which guide the supply of housing should not be considered up-to-date.

A recent Supreme Court judgement (Suffolk Coastal DC vs Hopkins Homes Ltd [2017] UKSC 37) provides clarity on the policies which are considered 'relevant policies' for the supply of housing. These do not include general restrictive policies such as those restricting development in the open countryside. As such policies RD2 and CS3 are considered up-to-date. However, the weight to be afforded to them needs to be balanced against the need to deliver new housing and the broader merits of the scheme when viewed in the context of sustainable development.

A recent review of the Five Year Housing Land Position Statement has identified that the council's housing land supply has reduced from five years and six dwellings, to four years. The council is preparing a Housing Delivery Action Plan in accordance with the NPPF and PPG. The Action Plan will assist in securing a five-year land supply; some of the actions include reviewing the windfall allowance calculation, and working with developers to bring forward outline planning applications.

The revised Five Year Housing Land Supply Position Statement is still awaiting update, any decisions made by the planning authority will take account of the presumption in favour of sustainable development as set out in Paragraph 11 of the NPPF. The current local policies relating to housing will carry reduced weight during this period.

This statement confirms that North Lincolnshire Council does not currently have a five-year supply of deliverable housing sites. The consequence of this shortfall is to demonstrate that current policies are failing to deliver a five-year supply of housing in accordance with paragraph 11 (footnote 7) of the NPPF and they are, therefore, failing to meet short-term housing needs. As such it is considered that there is a clear and demonstrable need for housing development in the area. Accordingly the operation of paragraph 11 of NPPF triggers a tilted balance whereby there is a presumption in favour of sustainable development and development proposals should be approved unless the adverse impacts significantly and demonstrably outweigh the benefits (paragraph 11, b, ii).

There are three dimensions to sustainable development as set out in paragraph 8 of the Framework. These are: economic, social and environmental. There are clear principle benefits emanating from additional residential development in relation to economic benefits from an increased number of people in the area as well as potential for local construction firms/tradespeople. There are also social benefits associated with housing provision. Clearly the increase of built form would also have potential for negative impacts upon the environment. In determining the sustainability of the proposed development an assessment not only relies upon planning principle but also the technical elements of the proposal. Only at that point can it be established whether or not any adverse impacts exist that would significantly and demonstrably outweigh the benefits of the proposal.

Impact upon the character and form of the locality

Policy DS1 requires that a 'high standard of design is expected' and identifies that proposals will be considered against two criteria:

- (i) the design and external appearance of the proposal should reflect or enhance the character, appearance and setting of the immediate area; and
- (ii) the design and layout should respect and where possible retain and/or enhance the existing landform of the site.

Policy RD2 of the North Lincolnshire Local Plan is concerned with development within the open countryside. This policy is in two parts: the first setting out in principle those development types that are acceptable; the second setting out a criteria-based approach to assessing those developments. The second part is of interest here in that it seeks to ensure that the visual amenity of the countryside is not compromised by poor development. Paragraph 'c' of the policy states:

'...the development would not be detrimental to the character or appearance of the open countryside or a nearby settlement in terms of siting, scale, massing, design and use of materials;'

Policy CS5 of the North Lincolnshire Core Strategy is also relevant. It states, '...All new development in North Lincolnshire should be well designed and appropriate for their context. It should contribute to creating a sense of place' and 'Design which is inappropriate to the local area or fails to maximise opportunities for improving the character and quality of the area will not be acceptable.'

Policy H5, which is concerned with new housing development, and paragraph 127 of the NPPF, are also relevant.

The site is located to the south-east of the settlement, abutting the defined settlement limits. The site is contained by properties to the north and west and by Front Street forming the eastern and southern extents. This proposal for one dwelling would be seen within this context and, following receipt of amended plans, would not result in any significant impact or adverse encroachment upon the wider open countryside. As such the proposal would not result in a detrimental impact upon the character of the area in accordance with the requirements of policies DS1 and RD2 of the local plan and CS5 of the Core Strategy.

Heritage assets

Section 66 of the Planning (Listed Buildings & Conservation Areas Act) 1990 imposes a general duty on local planning authorities as respects listed buildings in exercise of planning functions. In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The proposal is located in close proximity to the grade I listed All Saints Church and to the grade II 1 Church Street. A Heritage Statement has been provided with the application. The Conservation Officer raised concerns with the initial submission, but has confirmed that the amended Farmhouse style would not appear prominent in the location or detract from the setting of these assets. Subject to a condition to control the materials used in the construction of the property, there are no objections on grounds of impact upon the heritage assets.

With regard to the potential for archaeological remains and their potential at the site, the HER Officer has been consulted and has requested conditions to ensure that any works are carried out with appropriate investigation and recording of any finds at the site. It is considered, subject to suitable conditions, that the potential archaeological interest of the site can be suitably addressed.

Highway safety and accessibility

Policy T2 requires all development to be provided with a satisfactory access. In larger developments it should be served adequately by:

- (i) being readily accessible by a choice of transport modes; and
- (ii) existing public transport services and infrastructure; or
- (iii) additions or extensions to such services linked directly to the development; and
- (iv) the existing highway network.

Comments in relation to the access location and highway safety are noted. The Highways Officer has been consulted on the proposal and has not raised concerns regarding the location of the access. A condition requiring the provision of the access and for the parking provision to be in place prior to occupation of the dwelling is requested. Subject to such a condition it is considered that the proposal is acceptable in highway safety terms in accordance with policy T2.

Residential amenity

Policy DS1 outlines requirements to ensure that proposals do not adversely impact upon the amenity of their locality.

The proposal has been amended through the application process. The proposed dwelling is located with suitable separation to neighbouring properties and through the retention of a number of the existing mature trees, and additional planting would ensure that there would be no significant impacts through overlooking to neighbouring properties. The separation serves to ensure that there would not be a significant impact of overshadowing or oppression to neighbours to warrant resistance on these grounds either. Comments in relation to the garage block are noted. The scale of this outbuilding has been reduced through the application process and is not considered to result in any impacts to an extent that would warrant resistance on these grounds. The proposal is therefore considered to accord in this regard with the aims of policy DS1.

Flooding and drainage

Policy CS19 of the Core Strategy is concerned with flood risk. It states that development in areas of high flood risk will only be permitted where it meets the following prerequisites:

1. It can be demonstrated that the development provides wider sustainability benefits to the community and the area that outweigh flood risk.
2. The development should be on previously used land. If not, there must be no reasonable alternative developable sites on previously developed land.
3. A flood risk assessment has demonstrated that the development will be safe, without increasing flood risk elsewhere by integrating water management methods into development

The site is located within Flood Zone 1 within the North Lincolnshire SFRA 2011.

Comments in relation to existing drainage running through the site are noted. However, these points are not a planning consideration in that they relate to either water authority drains or private drains and are either subject to protection under existing rights or those of the water authority.

The Drainage Officer has been consulted on the application and, subject to conditions to control the drainage details, is satisfied that there would not be a significant impact upon the drainage of the site.

Ecology

Policy CS17 of the Core Strategy and paragraph 170 of the NPPF relate to biodiversity. Paragraph 170 states in part that a net gain for biodiversity should be achieved.

The site is not designated for any known ecological interest. The application is supported by a preliminary ecological assessment which finds no protected species at the site and no protected site will be impacted. The proposal is also supported by a biodiversity net gain proposal which would serve to ensure that the proposal achieves a gain for ecological interest. This can be secured by an appropriately worded condition. The proposal is therefore considered to be acceptable in this regard with the aims of policy CS17.

Other matters

Environmental Protection have recommended a condition relating to any unforeseen contamination discovered during construction works, and it is considered that such a condition requiring unexpected contamination to be reported to the local planning authority will suffice.

Pre-commencement conditions

The pre-commencement conditions included in the recommendation have been agreed with the applicant.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

Proposed Site Plan Outbuildings - ref RD:4722/12 dated 11.05.21

Proposed Site Plan Dwelling - ref RD:4722/10 dated 11.05.21

Proposed General Arrangement House - ref RD:4722/11 dated 11.05.21

Location Plan RD:4722/01A dated 28.09.20.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No development shall take place until a detailed flood risk statement and drainage strategy has been submitted to and approved in writing by the local planning authority. This should outline all sources of flood risk (including surface water, ground water and ordinary watercourse) and proposals to mitigate this and include preliminary drainage layout plans. SuDS should be considered. Full ground investigations must be carried out along with a feasibility assessment for infiltration. Infiltration tests should comprise full-scale tests to demonstrate long-term effectiveness and suitability. Reference should be made to North Lincolnshire Council's SuDS and Flood Risk Guidance Document.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

4.

No development shall take place until details showing an effective method of preventing surface water run-off from the highway onto the developed site have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

5.

The dwelling shall not be occupied until the vehicular access to it and the vehicle parking space(s) serving it have been completed and, once provided, the parking space(s) shall thereafter be so retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

6.

The tree protection measures outlined in section 4 of the Tree Protection Plan prepared by Colin Timberley dated 15 January 2021 shall be implemented prior to any construction activity or site clearance and retained for the duration of the construction activity on site. Furthermore, no trees, other than those expressly identified for removal within the application submission, shall be wilfully damaged, destroyed, uprooted, felled, lopped, topped or any other works carried out which would cause damage to the root systems or otherwise threaten the lives of the trees without the previous written consent of the local planning authority. Any trees removed without such consent, or dying or being severely damaged, or becoming seriously diseased, shall be replaced with trees of such size and species as may be agreed with the local planning authority.

Reason

To protect the existing trees on the site.

7.

No development shall take place until details have been submitted to and approved in writing by the local planning authority of the make, type and colour of all external facing materials and windows and doors for the development and only the approved materials shall be used.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, in accordance with policy DS1 of the North Lincolnshire Local Plan.

8.

All the approved landscaping identified within the submitted Landscape Botanica design dated 10.12.2020 shall be carried out within 12 months of development being first brought into use (unless a longer period is agreed in writing by the local planning authority). Any

trees or plants which die, are removed, or become seriously damaged or diseased within five years from the date of planting shall be replaced in the next planting season with others of similar size and species to those originally required to be planted, unless the local planning authority agrees in writing to any variation.

Reason

In the interest of visual amenity and to provide ecological benefit to the site in accordance with policies DS1 of the North Lincolnshire Local Plan and CS17 of the Core Strategy.

9.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

10.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of an archaeological mitigation strategy, to be defined in a written scheme of investigation that has been submitted to and approved in writing by the local planning authority. The strategy shall accord with a brief provided by North Lincolnshire Historic Environment Record and shall include details of the following:

- (i) measures to ensure the preservation by record of archaeological features of identified importance within the footprint of the development
- (ii) methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts
- (iii) post-fieldwork methodologies for assessment and analyses
- (iv) report content and arrangements for dissemination, and publication proposals
- (v) archive preparation and deposition with recognised repositories, including the digital archive with the ADS
- (vi) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (vii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record of the commencement of archaeological works and the opportunity to monitor such works

- (viii) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

11.

The applicant shall notify the local planning authority in writing of the intention to commence the archaeological site works at least seven days before commencement. Thereafter, the archaeological mitigation strategy shall be carried out in accordance with the approved details and timings. No variation shall take place without the prior written consent of the local planning authority.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

12.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record and the archive at North Lincolnshire Museum within six months of commencement of the archaeological programme of work or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

Informative 1

Our records indicate that the proposed development site is bounded by, or has running through it, a watercourse (surface water pipe/culvert or ditch). Following inspection, the watercourse may need to be cleared, replaced, protected or diverted by the landowner at

their expense in accordance with their riparian responsibilities. An easement adjacent to the watercourse may need to be provided for future maintenance. Any other drainage feature found during excavations must be immediately reported to the LLFA Drainage Team on 01724 297522, prior to any further construction works being carried out. Please refer to North Lincolnshire Council's 'Guide to watercourses and riparian ownership'. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

Informative 2

Our records indicate that the proposed development site is bounded by an ordinary/riparian watercourse/highway drain along the southern boundary. Alterations and/or connections into the watercourse must be consented by North Lincolnshire Council's LLFA Drainage Team, in their capacity as Lead Local Flood Authority, and/or the local Internal Drainage Board through an Ordinary Watercourse Consent and appropriate discharge rates must be agreed. Please contact the LLFA Drainage team on 01724 297522 or by email to llfadrainageteam@northlincs.gov.uk for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

Informative 3

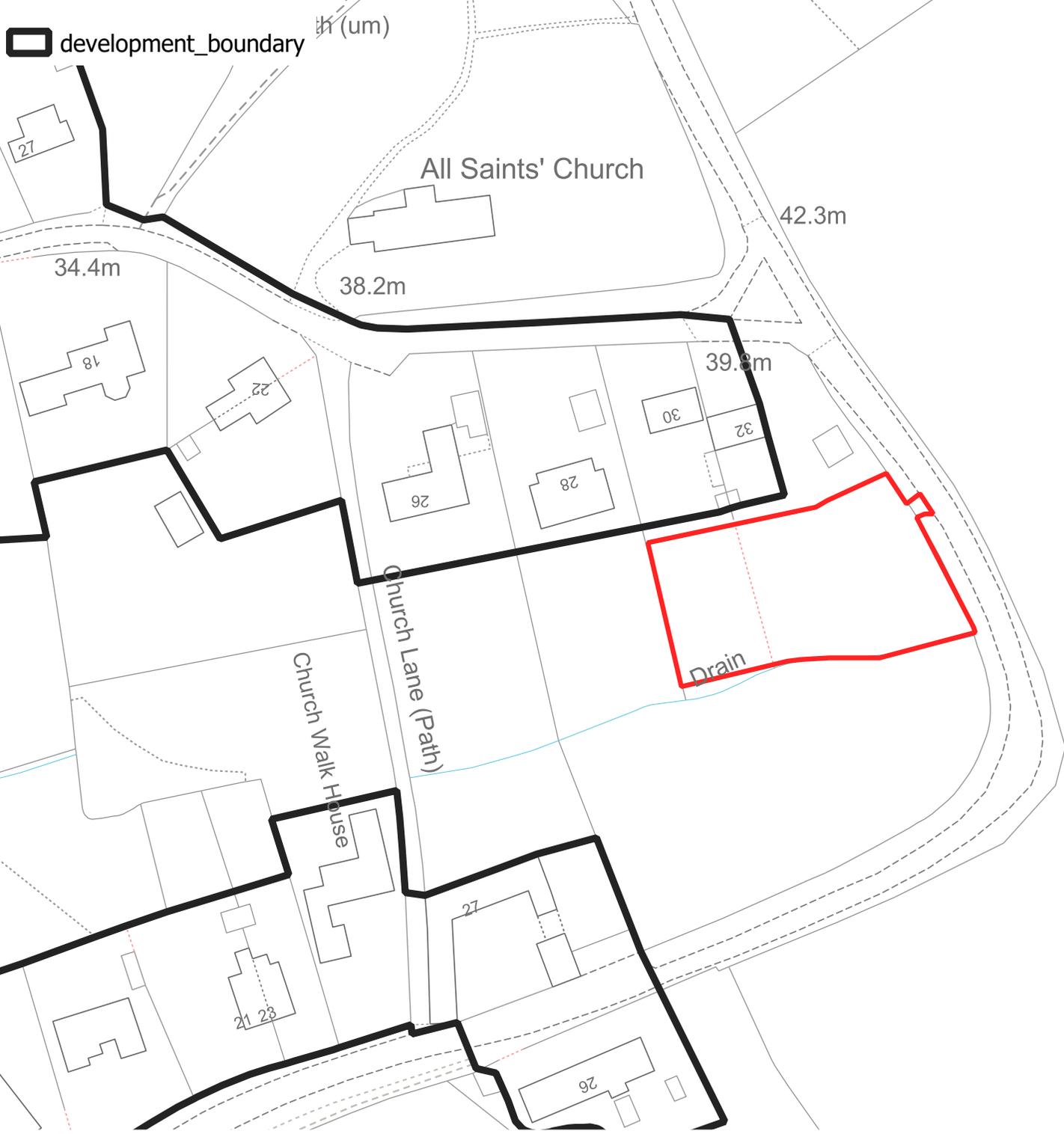
The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 4

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

development_boundary (um)



**North
Lincolnshire
Council**

PA/2021/68

PA/2021/68 Proposed plans and elevations (garage) (not to scale)



Front (North East) Elevation

Scale - 1:100



Side (North West) Elevation

Scale - 1:100



Rear (South West) Elevation

Scale - 1:100



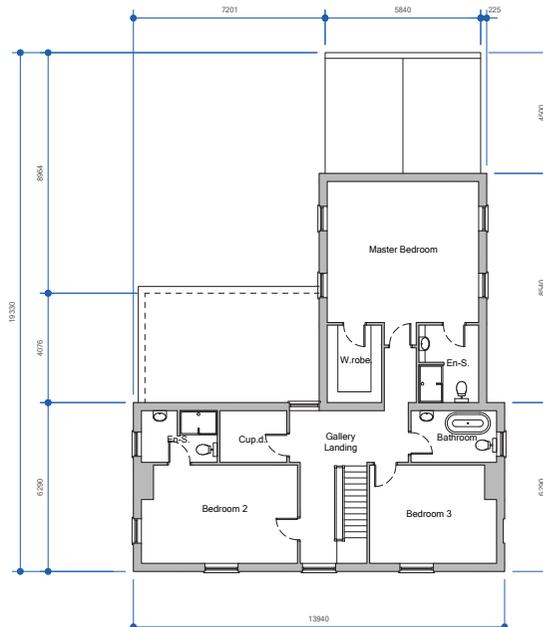
Side (South East) Elevation

Scale - 1:100



Ground Floor Plan

Scale - 1:100



First Floor Plan

Scale - 1:100

Elevational Materials

Roof

Natural clay pantiles with matching half round ridge and tile slips in mortar bed. Red engineering brick parapets with lead apron flashing. Lead cheeks to cat side dormer windows with matching pantile roof finish.

Rain Water Goods

Cast aluminium Ogee gutters on rise and fall brackets built into corbel brick eaves.

External Walls

Handmade red multi facing natural clay brickwork with contrasting semi engineering smooth red head, dpc, segmental arches and corbel detailing. Reconstructed stone window sills. Natural oak frame to rear porch with oak boarding to face. Painted timber portico.

Windows and Doors

Painted timber double glazed sliding sash windows in 'off white / cream'. Similar finish to bi-fold doors. Coloured main entrance door with fanlight and glazing.

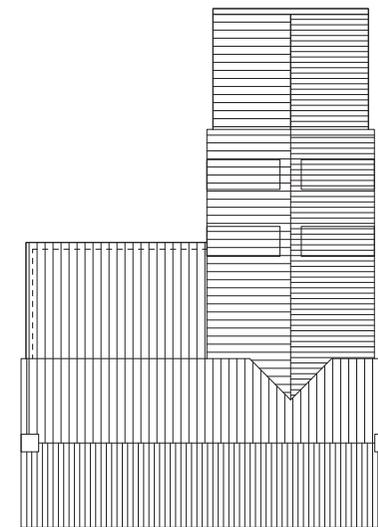


Notes:
 - Drawing copyright of Ross Davy Associates
 - Used light grey dimensions only. Do not scale from this drawing.
 - All content qualified in the text and/or drawings will supersede written instructions and current codes of practice.
 - Should the project fall under the scope of the Equality Act, Party Wall Act or the CDM Regulation, it is the Employer's responsibility to ensure compliance.
 - Designer: Ross Davy Associates
 - Project: PA/2021/68 Proposed plans and elevations (garage) (not to scale)
 - These drawings are to be considered as Proposals and for Information only until technical approval has been obtained from the relevant Local Planning Authority. Construction of work on the basis of these approvals is at the Client's discretion.
 - 100%

Proposals and Surveys:
 Where necessary, the construction will be visible during the survey. It is the contractor's responsibility to identify structural elements such as floor joists and supporting structure, and to ensure that any necessary repairs are made before construction commences. Additional works may be required. The survey does not include any production work.

Drawing Revisions

AMENDED



Roof Plan

Scale - 1:100

Ross Davy Associates
 Pelham House, 1 Grosvenor Street,
 Grimsby, N.E. Lincolnshire, DN32 0QH
 Tel: 01472 347956
 Email: design@rossdavytd.co.uk
 Web: www.rossdavytd.co.uk

Project: Proposed Dwelling at Land to the Rear
 The Old Cottage, 32 Church Street,
 Elsham, DN20 0RG North Lincolnshire
 For: Miss. S. J. Leach

Drawing Title: PROPOSED GENERAL ARRANGEMENT
 HOUSE

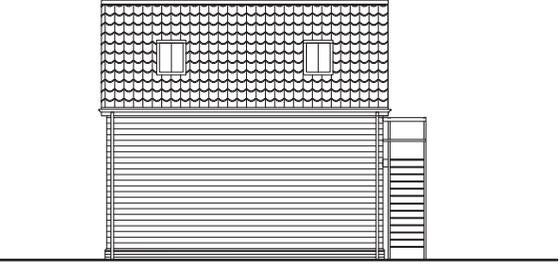
Drawn: APS Scale: 1:100

Date: 11.05.21. Size: A1

Drawing No: RD:4722 / 11

FOR APPROVAL

PA/2021/68 Proposed plans and elevations (outbuildings) (not to scale)



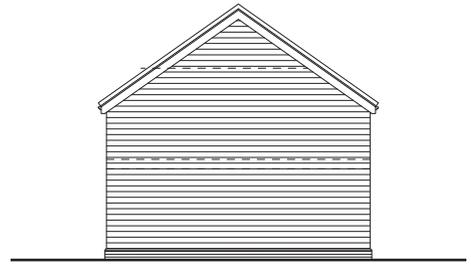
Rear (South West) Elevation

Scale - 1:100



Side (South East) Elevation

Scale - 1:100



Side (North West) Elevation

Scale - 1:100

Scale Bar

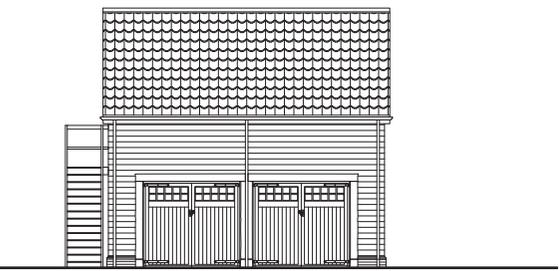
Notes

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- Used figured dimensions only, do not scale from this drawing
- All materials specified are to be used in strict accordance with manufacturers written instructions and current codes of practice.
- Should the project fall under the scope of the Equality Act, Party Wall Act or the CDM Regulations, it is the Employer's responsibility to initiate the following:
 - Party Wall Notices and Surveys (if required)
 - Pre-Construction Health and Safety Plan
- These drawings are to be considered as Preliminary and for information only until technical approval has been obtained from the relevant Local Authority/Approval Consultant. Commencement of work on site prior to these approvals is at the Client's/Contractor's risk.
- All building works to be constructed in accordance with the current Approved Documents to the Building Regulations (England)

Inspections and Surveys

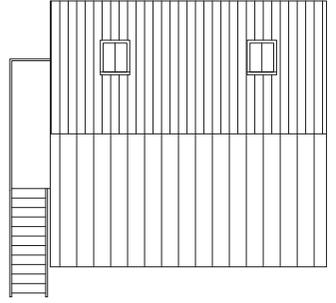
Where elements of the construction are not visible during the survey, it is the contractor's responsibility to identify structural elements such as floor joist spans and supporting structures, prior to any demolition works and inform client's architectural consultant. Additional works may therefore be necessary. Our survey does not include any destructive investigation.

Drawing Revisions



Front (North East) Elevation

Scale - 1:100



Roof Plan

Scale - 1:100

AMENDED

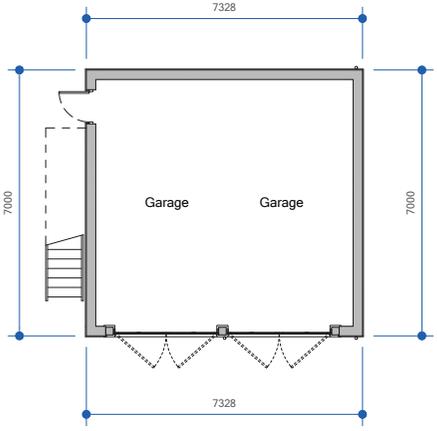
Elevational Materials

Roof.
Natural clay pantiles with matching half round ridge and tile slips in mortar bed. Oak barge and fascia boards with exposed rafter feet.

Rain Water Goods
Cast aluminium Ogee gutters on rise and fall brackets built into corbel brick eaves.

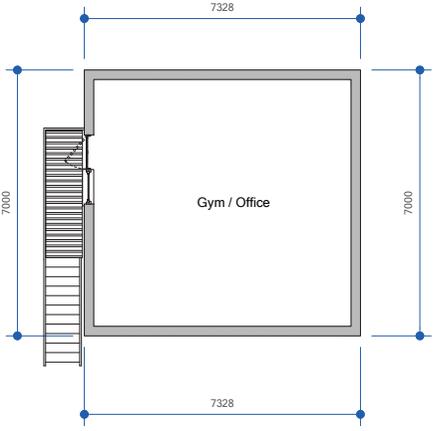
External Walls.
Semi engineering smooth red facing brickwork to dpc
Natural oak frame to openings with oak boarding to face.

Windows and Doors
Painted timber double glazed sliding sash windows in 'off white / cream'.



Ground Floor Plan

Scale - 1:100



First Floor Plan

Scale - 1:100

FOR APPROVAL

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Project ROPOSED GENERAL ARRANGEMENT
The Old Cottage, 32 Church Street,
Elsham, DN20 0RG North Lincolnshire
For. Miss. S. J. Leach

Drawing Title PROPOSED SITE PLAN
OUTBUILDINGS

Drawn APS **Scale** 1:100.

Date 11.05.21. **Size** A2

Drawing No. RD:4722 / 12