

<b>APPLICATION NO</b>	<b>PA/2021/292</b>
<b>APPLICANT</b>	Mr & Mrs Davidson
<b>DEVELOPMENT</b>	Planning permission to erect a single-storey pool room extension with access and landscaping alterations
<b>LOCATION</b>	The Mooring, Ferry Road, Barrow Haven, Barrow upon Humber, DN19 7ET
<b>PARISH</b>	Barrow upon Humber
<b>WARD</b>	Ferry
<b>CASE OFFICER</b>	Nick Salt
<b>SUMMARY RECOMMENDATION</b>	<b>Grant permission subject to conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Departure from the development plan

## **POLICIES**

### **National Planning Policy Framework:**

Paragraph 127 states that planning policies and decisions should ensure that developments:

- (a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- (b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- (c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- (d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- (e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- (f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

## **North Lincolnshire Core Strategy:**

CS1 (Spatial Strategy for North Lincolnshire)

CS2 (Delivering More Sustainable Development)

CS3 (Development Limits)

CS5 (Design)

CS19 (Flood Risk)

## **North Lincolnshire Local Plan:**

Policy RD2 (Development in the Open Countryside)

Policy RD10 (Replacement, Alterations and Extensions to Dwellings in the Open Countryside)

Policy T2 (Access to Development)

Policy T19 (Car Parking Provision and Standards)

Policy DS1 (General Requirements)

Policy DS5 (Residential Extensions)

Policy DS16 (Flood Risk)

## **Housing and Employment Land Allocations DPD:**

Policy PS1 (Presumption in Favour of Sustainable Development)

## **CONSULTATIONS**

No responses received.

## **PARISH COUNCIL**

No objections.

## **PUBLICITY**

Advertised by site and press notice. No responses received.

## **ASSESSMENT**

### **Site**

The application site is the residential curtilage of a detached dormer bungalow on the west side of Ferry Road, Barrow Haven. The dwelling is one of a small group of three sited to the north of The Haven Inn, with the small river of The Beck to the rear. The site is within a high-risk flood zone (SFRA Level 2/3a) within the open countryside, outside of any defined settlement boundary.

There is a large side garden to the south behind a tall red brick wall, and some outbuildings. The frontage of the site is currently open with lawn and parking. The dwelling has recently been extended to the side and rear via PA/2018/465.

## **Proposal**

Proposed is a side extension to the south gable of the dwelling to accommodate a pool room and associated space, with a link between it and the existing dwelling. A separate site entrance is proposed to the southern part of the roadside boundary, with a new low brick wall to the frontage of the existing dwelling and entrance gate. The front of the dwelling would be altered to provide parking for three cars.

The extension would be 4.2 metres high to the ridge and 2.7 metres to the eaves, with a length of approximately 20 metres and width of 8 metres (not including the link). The extension would sit approximately 2.7 metres forward of the principal elevation of the dwelling and would be connected to the existing dwelling via a narrow link.

To the rear of the pool extension would be an area of outdoor hardstanding for seating/dining. External finish would be horizontal timber cladding to the elevations and a shallow pitched roof with grey standing seam design.

## **Assessment**

**The main consideration in the determination of this application is impact on the character and appearance of the existing dwelling and surrounding context.**

### **Visual impact**

The site is outside of any settlement boundary as defined in the Housing and Employment Land Allocations DPD and as such there is a general presumption against development. The extension of an existing dwelling within the 'open countryside' is one of the exceptions to this presumption set out in local plan policy RD2.

As such, policy RD10 of the North Lincolnshire Local Plan is relevant. Policy RD10 relates specifically to dwellings located in the open countryside and sets out the criteria against which extensions to existing dwellings in the countryside will be assessed. This policy requires that the volume of the proposed extension does not exceed the volume of the original dwelling by more than 20%, exclusive of normal permitted development rights, and that the original dwelling forms the dominant visual feature of the dwelling as extended. Compliance with policy RD10 is also dependent upon the impact of the proposed development on the character and appearance of the area and the amenity of neighbouring properties; these issues are assessed below.

The council's SPG1 'Design guidance for house extensions' explains that householder extensions 'should not dominate the original building in terms of scale, materials or situation.' Policies DS5 of the local plan and CS5 of the Core Strategy are concerned with visual amenity and that proposals should be sympathetic in design, scale and materials. RD2 states that rural development which falls under that which is permissible in the open countryside must not be detrimental to the character or appearance of the open countryside or a nearby settlement in terms of siting, scale, massing, design and use of materials.

The purpose of the '20% rule' outlined in policy RD10 is to ensure that rural extensions do not dominate sites and surrounding landscapes. The proposal would exceed this and would

see an approximate 150 square metres of additional internal floorspace, around 35% of the existing dwelling, and a greater percentage of the original dwelling.

The proposed side element would increase the total width of the dwelling from 18 metres to slightly over 40 metres including the flat-roofed link. The extension would be single-storey and significantly lower at ridge height (4.2 metres) than the main dwelling (8 metres), the 2.7 metre eaves height would also reduce impact to a degree in that it would be only 1 metre above the height of the existing adjacent boundary wall. The proposed materiality and use of timber and a 'barn-like' design to the pool extension would be appropriate for the rural location and would reduce visual impact, providing a clear distinction between the extension and the dwelling and ensuring that it remains the secondary visual feature on the site. The existing dwelling and two similar dwellings to the north are dormer bungalows which, whilst fairly modern, have a limited visual impact due to their modest original design and proximity to the larger public house to the south. The proposal would not substantially alter this.

The walling to the front of the original dwelling and parking area proposed would remove the open, lawned aspect seen along this small row of buildings and would contribute to a greater 'built-up' appearance within the site. However, it would not be out of keeping with the site when read holistically and would not be readily visible other than from directly outside of the site itself. The design and materials proposed to the walling and new access gate would not be out of keeping with the rural character and appearance of the area.

The site is considered suitably large enough to accommodate the side extension without resulting in a cramped or contrived appearance. Overall, the proposal would be sympathetic to the existing character and appearance of the site and the surrounding built and natural context.

As such, the proposal, as amended, is considered to be in accordance with policies DS1 and DS5 of the North Lincolnshire Local Plan and CS5 of the North Lincolnshire Core Strategy. Whilst the proposed extension does not comply with the requirements set out in local plan policy RD10, it is considered that the use of careful design and a reduction in scale following discussions with the case officer are sufficient to ensure that there would be no unacceptable visual harm.

## **Flood risk**

Policies DS16 of the North Lincolnshire Local Plan and CS19 of the Core Strategy set out the council's approach to development in areas at risk of flooding. The application site sits within flood zone 2/3a (Tidal) of the Strategic Flood Risk Assessment for North Lincolnshire and the Environment Agency Coastal Hazard Mapping zone and as such is in a high flood risk zone.

These policies seek to direct new development to areas at lowest risk of flooding and only permit development in areas of high risk where it provides wider sustainability benefits to the community that outweigh flood risk, is on previously developed land, and a Flood Risk Assessment has demonstrated that the development will be safe, without increasing flood risk elsewhere.

The site is, however, surrounded by fields and agricultural buildings and does not propose sleeping accommodation. The flood risk on the site and in the wider area is therefore not

considered likely to be exacerbated. The proposal would accord with local plan policy DS16 and Core Strategy CS19 in this regard.

### **Other matters**

Policy DS5 of the North Lincolnshire Local Plan is concerned with residential extensions. In respect of amenity it states that planning applications for residential extensions will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, overbearing impact or loss of privacy to adjacent dwellings. There are no residential neighbouring dwellings bounding the south of the site in close proximity and no amenity impacts would result.

With regard to the additional access point to the south of the site, this would amend an existing gate and would not introduce a new access onto the road. It is not considered that there would be any significant highway safety impact.

### **Conclusion**

In summary, whilst the proposed extension would exceed a 20% increase in the volume of the original dwelling, the visual impact and careful design of the extension and associated works would ensure that there is no unacceptable harm to the character or appearance of the site or wider landscape. Furthermore, no other adverse impacts have been identified as likely to result from the proposal.

Accordingly, the application is recommended for approval.

### **RECOMMENDATION Grant permission subject to the following conditions:**

1.  
The development must be begun before the expiration of three years from the date of this permission.

#### **Reason**

To comply with section 91 of the Town and Country Planning Act 1990.

2.  
The development hereby permitted shall be carried out in accordance with the following approved plans:

20048/001 - Location Plan

20048/010 B - Proposed Floor Plans and Block Plan

20048/011 A - Proposed Elevations.

#### **Reason**

For the avoidance of doubt and in the interests of proper planning.

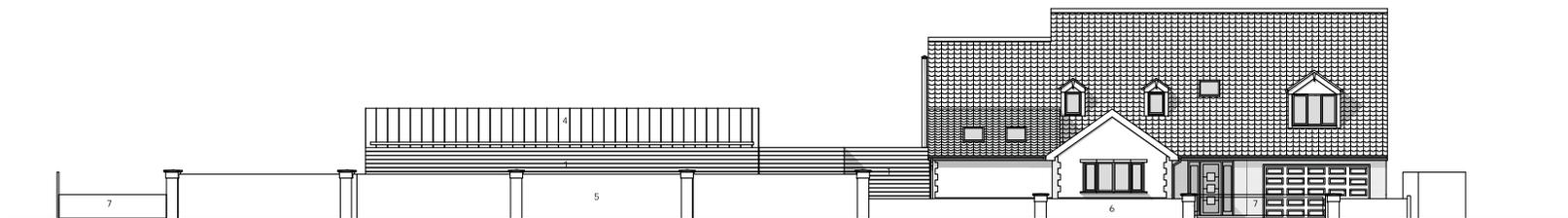
### **Informative**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



# PA/2021/292 Proposed elevations (not to scale)

REV:	DRAWN:	DETAILS:	DATE:
A	REC	Planning Issue	16.02.21
	REC	Revised design to suit Planner Comments	6/23/2021

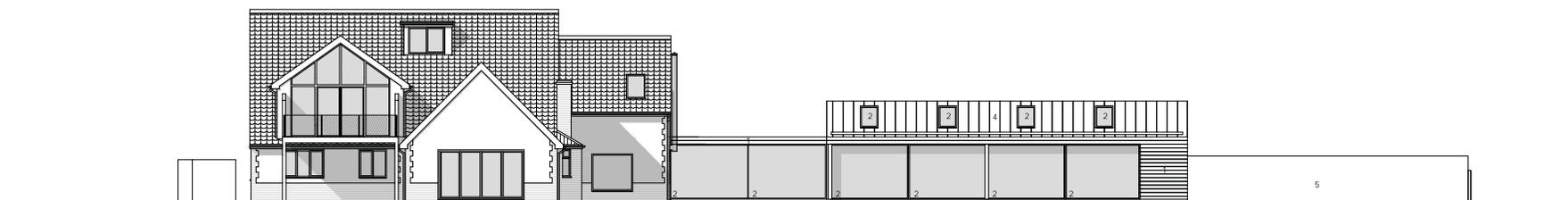


Proposed East Elevation [Principal]  
1:100



Proposed South Elevation  
1:100

**AMENDED**



Proposed West Elevation  
1:100



Proposed North Elevation  
1:100

- 1) Horizontal Timber Cladding
- 2) Aluminium Framed Windows/Rootlights
- 4) Grey Standing Seam Roof
- 5) Existing Tall Brick Boundary Wall
- 6) New Low Brick Boundary Wall
- 7) New Grey Metal Vehicle Gate

id architecture

TITLE: Proposed Elevations  
 CLIENT: Mr & Mrs Davidson  
 PROJECT: Single Storey Extension  
 LOCATION: The Moorings, Ferry Road, Barrow Haven  
 DRAWN BY: NS  
 CHECKED BY: REC  
 SCALE: As Noted  
 SIZE: A1  
 DATE: October 2020  
 STAGE: Planning

DRG NO: 20048/11  
 REV: A