

APPLICATION NO	PA/2021/1403
APPLICANT	Mr Francis Micallef
DEVELOPMENT	Listed building consent to erect a two-storey workshop comprising garages, gym facilities, storage and office space
LOCATION	The Old Vicarage, Yorkshire Side, Eastoft, DN17 4PG
PARISH	Eastoft
WARD	Axholme North
CASE OFFICER	Mark Niland
SUMMARY RECOMMENDATION	Grant consent subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Eastoft Parish Council

POLICIES

National Planning Policy Framework:

Paragraph 131 – Trees make an important contribution to the character and quality of urban environments, and can also help mitigate and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined, that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users.

Paragraph 195 – Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal.

North Lincolnshire Local Plan: HE5

North Lincolnshire Core Strategy: CS6

CONSULTATIONS

Conservation: No objection following amended plans, subject to the control of materials.

PARISH COUNCIL

Objects to the proposal on the following grounds:

'Concerns were expressed that the visual impact of the extension would be seen by the residence known as The Vicarage. Visually the extension is at the back of the property and only viewed by field workers and field walkers, however trees would be welcome as a shield. Materials should of course be sourced to enhance the listed building status, see plans PA/2021/1403. If the addition of large offices happens then they are open to non-locals and should attract business rates.'

PUBLICITY

Advertised by site and press notice. No comments have been received.

ASSESSMENT

Planning history

- PA/2021/1321: Planning Permission to erect a two-storey workshop comprising garages, gym facilities, storage and office space – not yet determined
- PA/2012/1397: Non-material amendment to planning permission PA/2008/1190 dated 08/10/2008 to change the style and size of windows, doors and roof lanterns to orangery, install external flue in attached outbuilding and replace guttering – approved 07/01/2013
- PA/2012/1396: Listed building consent to change the style and size of windows, doors and roof lanterns to orangery, install external flue in attached outbuilding and replace guttering (previous application PA/2008/1198) – approved 23/01/2013
- PA/2008/1198: Listed building consent to erect an extension and carry out alterations, and erect a detached double domestic garage to the front – approved 08/10/2008
- PA/2008/1190: Planning permission to erect an extension and carry out alterations, and erect a detached double domestic garage with a store to the front – approved 08/10/2008
- 2/1974/0040: Convert existing outbuildings into a dwelling house – approved 11/04/1974

Site constraints

- Flood Zone 2/3a (North and North East Lincs SFRA 2011)
- Open Countryside (HLEA DPD 2016)
- Within setting of Grade II listed buildings
- Proximity to trees protected by a TPO

Listing description

GV II

Parsonage house, now house, with adjoining carriage house and stables. Mid C19, probably 1855, by J L Pearson. Light brown brick in Flemish bond with rubbed red brick and sandstone ashlar dressings. Welsh slate roof. L-shaped on plan: double-depth house with 3-room, central entrance-hall east front, drawing room and dining room to rear, kitchen wing to rear right with carriage house/stable and stores range beyond. East front: 2 storeys, 3 bays; symmetrical, with central bay breaking forward. Chamfered brick plinth. Steps to panelled door beneath moulded lintel and overlight with geometric glazing bars and coloured margin lights in panelled reveal beneath flat red brick arch and moulded ashlar cornice; first-floor section stepped- in above. 12-pane ground-floor sashes in reveals with projecting stone sills beneath red brick cambered arches. Similar but slightly shorter first-floor sashes. Deep eaves. Hipped roof. Ridge stack with brick band, ashlar cornice and octagonal pots. Similar stacks to rear and right return.

Left return forms garden front: 2 bays, with recessed left bay. Right bay has central section breaking forward, with 12-pane sash beneath brick cambered arch and ashlar cornice, narrower raised section above with 12-pane first-floor sash below similar arch. Left bay has wooden ground-floor canted bay window with French windows and overlight with glazing bars to front, and unequal 10-pane sashes to sides, in Doric surround with tapered pilasters carrying entablature with triglyphs, guttae, moulded cornice, blocking course and flat hood. Central first-floor section above breaks forward with 12-pane sash, narrow 8-pane sash in angle to right, both below cambered brick arches. Right return has irregular fenestration with hung and sliding sashes with glazing bars beneath brick cambered arches. Coped wall with round-headed opening links rear wing to carriage house/stables and stores range. 2-storey section to left, with 2 first-floor openings, has basket-arched carriage entrance to right with 2-fold board doors, pair of board doors and 12-pane sliding sash to left beneath segmental arches; first-floor hatch to right with board door beneath segmental arch, blocked similar opening to left, stepped eaves, ridge stack. Single-storey section to right has sliding sash and pair of board doors beneath segmental arches, coped right gable. Interior of house: original features include open-well staircase with ramped grip handrail, turned newel posts, plain balusters and inserted C20 wrought-iron balusters, profiled cheek-pieces; marble chimney-pieces to 2 ground-floor front rooms, one with carved consoles; moulded plaster cornices, panelled window shutters, 6-pane doors in architraves beneath moulded cornices. Probably built together with the neighbouring church of St Bartholomew (qv) and school in 1855.

Listing NGR: SE8064816668

Site characteristics

The site lies outside the development boundary for Eastoft though within the curtilage associated with The Old Vicarage. The area proposed for the development is to the west of The Old Vicarage and north of an existing tennis court. There are two groups of trees protected by tree preservation orders in this area: to the south of the development a group made up of one sycamore and four walnuts; to the east a group consisting of two elm, three lime, a sycamore, a walnut and a yew.

The dwelling itself is grade II listed set back from the A161, to the north of St Bartholomew's (grade II listed) and opposite Elm Tree Farmhouse, which is also a listed asset. The

dwelling has front curtilage area with parking, and wall garden to the rear, beyond which the curtilage extends to include a tennis court. This application is proposed to the north of that court.

Proposal

Listed building consent is sought to erect a two-storey workshop comprising garages, gym facilities, storage, and office space. The proposal is for domestic use and amended plans have been received following conservation and tree concerns.

The main consideration in determining this application is the impact of the proposal on the listed building(s).

Impact upon listed building

Policy HE5 is concerned with development affecting listed buildings. It states that the council will seek to secure the preservation, restoration and continued use of buildings of special architectural or historic interest. When applications for planning permission relating to a listed building or listed building consent are being assessed, the primary consideration will be the need to preserve or enhance the fabric and character of the building. Policy CS6 of the Core Strategy reinforces this policy by requiring development to protect and enhance the district's historic assets.

A material consideration to this application is the ongoing dilution of the listed building and two key events that have led to the application being acceptable. These events were the conversion of outbuildings to dwelling in 1974 and in 2008 the erection of a double garage with linked carport. It is this latter development that forms both a visual and physical screen between The Old Vicarage and the area of land that makes up this proposal.

The proposal is located beyond the existing carport and the wall garden, and within the area close to the existing tennis court. The proposal would only be read from vistas to the rear of the plot where the proposed building would sit against the backdrop of the listed dwelling and protected trees. The building along its main stretch has two floors though the first floor is located above the eaves of the building allowing it to stay low in comparison to the dwelling (it is of a comparable height to the carport). The roof materials are grey slate, which would allow the proposal to assimilate with the existing carport. The impact upon the listed building by the presence of the proposal is not unacceptable. Though there is some dilution of setting, its distance beyond the wall garden and carport, its scale, its softening by existing trees and the use of appropriate materials would lead to less than substantial harm. The western elevation is gabled. It was requested that this was hipped to lessen the appearance of massing in the roof of the building, however the impact would overly complicate the functionality of the internal arrangement. The applicant did make all other required changes, including moving the structure away from protected trees, and this gable on its own does not give rise to an amount of harm that would lead to refusal.

The conservation officer has been involved in dialogue and requested some amendments, including moving the building away from the protected trees and carport, as well as materials and hipping the building. Following the amended plans, the officer has confirmed that he is happy with the scheme subject to a condition requiring the addition of a horizontal timber crosspiece in the large rear window.

The materials will be conditioned despite the applicant proposing (in part) a suitable palette that includes timber weather boarding and a slate roof tile. This is because of the sensitivity

of the location as well as details of rainwater goods and fenestration materials being omitted. In terms of the horizontal crosspiece, it is believed the officer is referring to the bifold doors, but to have such an obstruction would not allow this opening to be functional and perhaps should have been an objection should the issue have been so great. Instead, should the officer not support the use of a full glazed opening, this can be discussed at the discharge of conditions stage as fenestration/openings will be controlled due to the sensitive location of the building.

It is therefore considered that the proposal is in accordance with policies HE5 of the local plan and CS6 of the Core Strategy.

Conclusion

The proposal would not dilute the setting of the listed building to a level that would warrant refusal. Whilst there is some cross-reading from certain vistas, the existing characteristics of the site (wall garden, modern extension, trees) allow this building to retain sufficient distinction from the asset.

RECOMMENDATION Grant consent subject to the following conditions:

1.
The works must be begun before the expiration of three years from the date of this consent.

Reason

To comply with Section 18(1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2.
The development hereby permitted shall be carried out in accordance with the following approved plans:

102_Eastoft_200_Proposed Barn Elevations Revisions 01
102_Eastoft_110_Proposed Site Location Plan Rev 01
02_Eastoft_110_Proposed Barn FF Layout Rev 01
02_Eastoft_110_Proposed Barn GF Layout Rev 01.

Reason

For the avoidance of doubt and in the interests of proper planning.

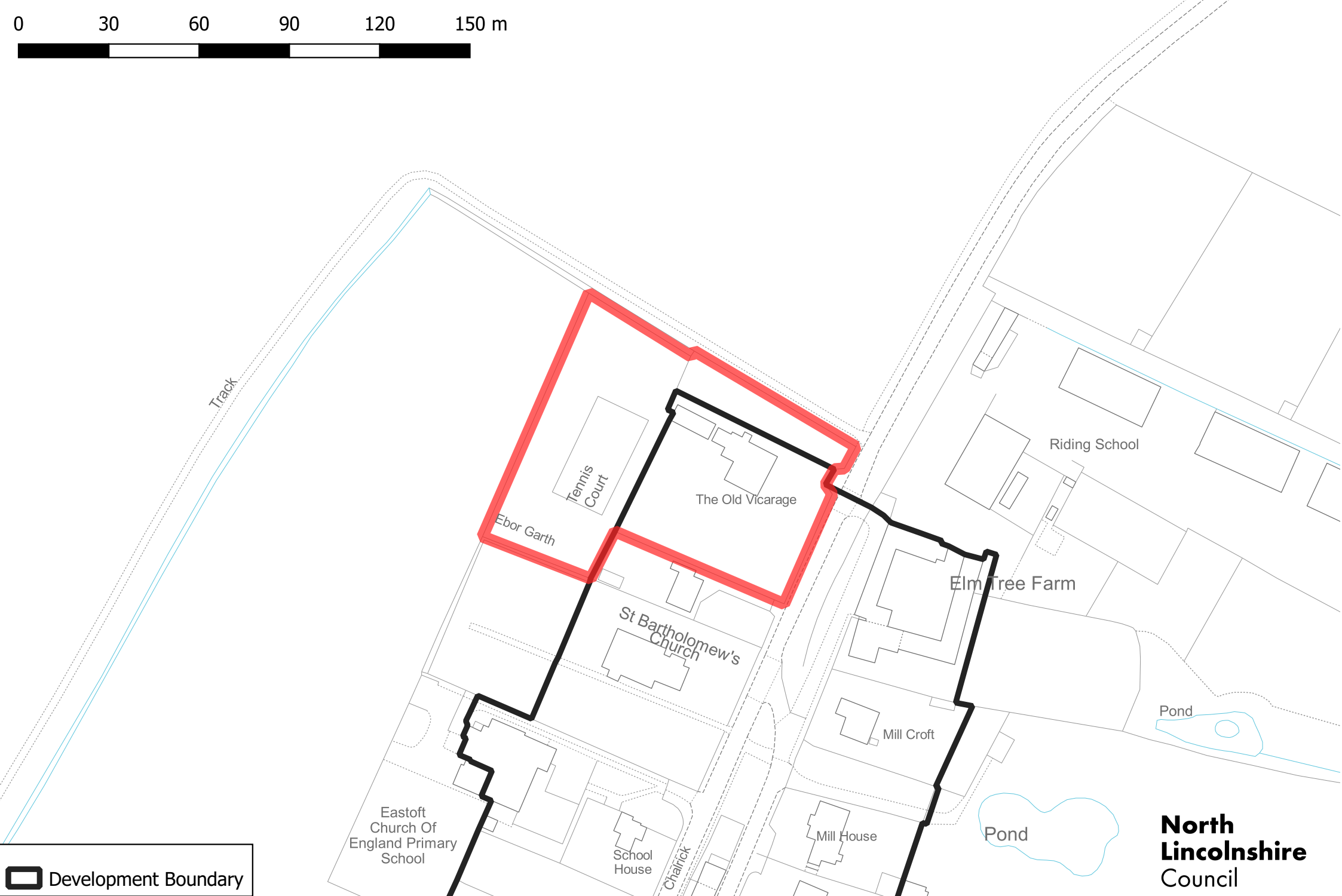
3.
Prior to any above-ground works details of all external materials, including openings, rainwater goods, roof and walls, to be used in the construction of the building hereby approved shall be submitted to and agreed in writing with the local planning authority. Only the agreed materials shall be used and shall be retained thereafter.

Reason

To protect the historic environment and to accord with policy CS6 of the Core Strategy.

Informative

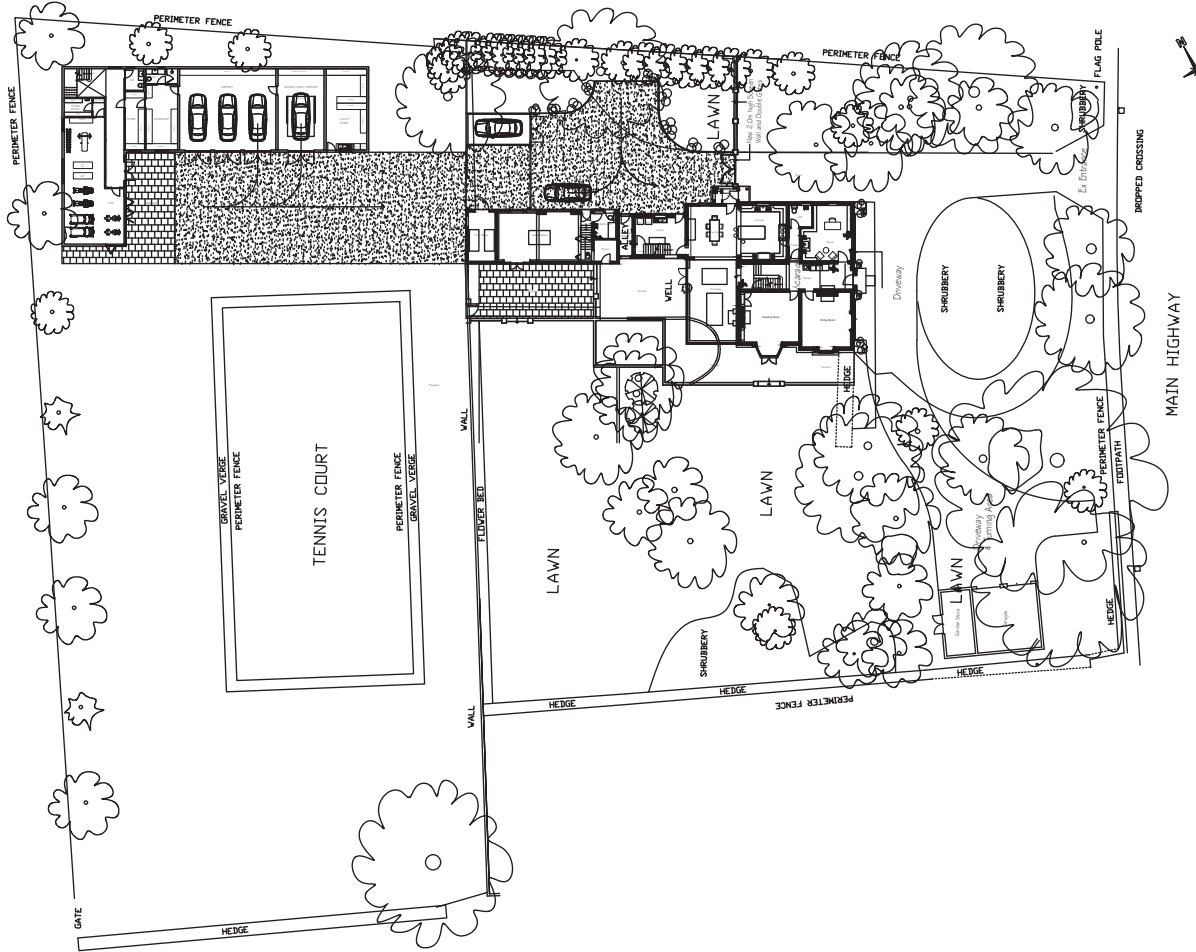
In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



**North
Lincolnshire
Council**

PA/2021/1403

AMENDED



1. Proposed Site Location Plan

This drawing is the property of Sehem Design.
Do not scale from this drawing, all dimensions must be checked on site before any works are undertaken

DRAWINGS NOT FOR CONSTRUCTION

Revision	Date	Description	Author

Notes:

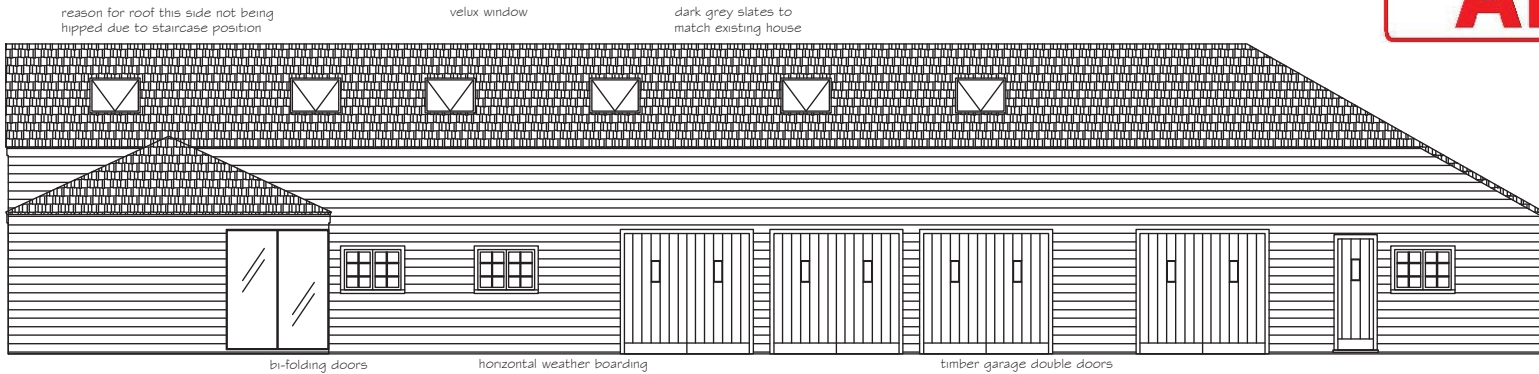
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Eastoft
drawing title
Proposed Site Location Plan

revision
01
initial issue date
04.07.2021

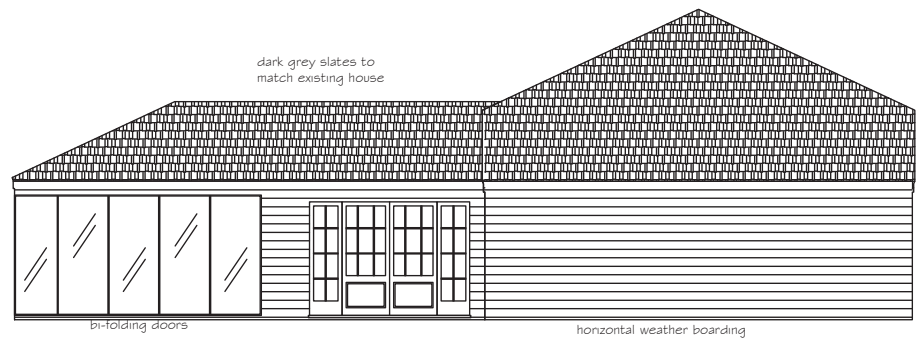
job no
102
drawing No
102_Eastoft_110_Proposed Site Location Plan



AMENDED



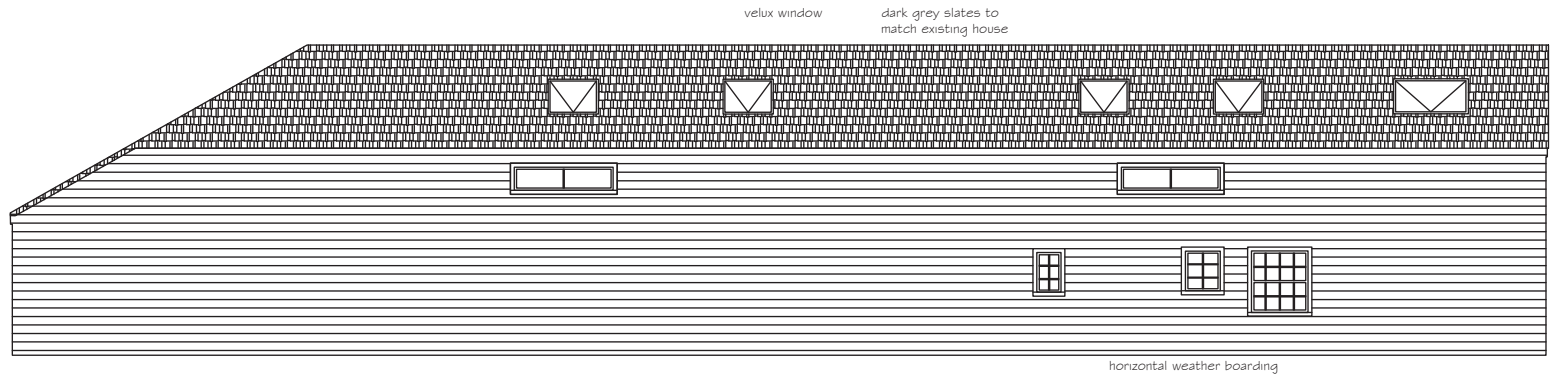
1. SCALE 1:100@A3
Proposed South Elevation



2. SCALE 1:100@A3
Proposed East Elevation



3. SCALE 1:100@A3
Proposed West Elevation



4. SCALE 1:100@A3
Proposed North Elevation

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Revision	Date	Description	Author

Notes:

project
Eastoft
drawing title
Proposed Barn Elevations

revision
01
initial issue date
04.07.2021

job no
102
drawing No
102_Eastoft_200_Proposed Barn Elevations

