

APPLICATION NO	PA/2021/1873
APPLICANT	Mr Andrew Bayes
DEVELOPMENT	Planning permission to vary condition 2 of previously approved PA/2020/2012 dated 17/06/2021 to amend house type on plot 2
LOCATION	52 Hunters Lodge, High Street, Haxey, DN9 2HH
PARISH	Haxey
WARD	Axholme South
CASE OFFICER	Mark Niland
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Haxey Parish Council

POLICIES

National Planning Policy Framework:

Paragraph 130 – Planning policies and decisions should ensure that developments:

- (a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- (b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- (c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- (d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- (e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- (f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

North Lincolnshire Local Plan:

Policy RD2 (Development in the Open Countryside)

Policy H5 (New Housing Development)

Policy LC7 (Landscape Protection)

Policy LC12 (Protection of Trees, Woodland and Hedgerows)

Policy LC14 (Area of Special Historic Landscape Interest)

Policy T2 (Access to Development)

Policy T19 (Car Parking Provision and Standards)

Policy DS1 (General Requirements)

North Lincolnshire Core Strategy:

Policy CS2 (Delivering More Sustainable Development)

Policy CS3 (Development Limits)

Policy CS5 (Design)

Policy CS7 (Overall Housing Provision)

CONSULTATIONS

Highways: No comments or objections.

Drainage: No comments or objections.

Environmental Protection: No comments.

Tree Officer: No comments.

Drainage: This application provides no information to enable discharge of surface water drainage conditions for the outline application. However, at this stage we have no objections to the proposed layout alterations. We await information relating to the discharge of drainage conditions for the outline application.

Archaeology: The officer has stated 'No objection subject to standard conditions removing permitted development rights to avoid the unregulated extension of the built environment into the protected historic landscape area at the rear of the dwelling.'

PARISH COUNCIL

Objects because the increase in size constitutes an over-development as amenity space is reduced due to the proposed extension.

PUBLICITY

Advertised by site and press notice – one comment in support has been received.

ASSESSMENT

Planning history

- 2/1975/0365: Renewal of outline to erect dwellings – no decision
- 2/1976/0408: Erect a bungalow including access to the highway – approved 05/11/1976
- 2/1977/0608: Erect a garage and stables – approved 11/11/1977
- PA/1997/0299: Erect four dwellings (outline) – approved 17/12/1997
- PA/2001/1608: Outline planning permission for residential development – refused 05/02/2002
- PA/2017/743: Outline planning permission for four dwellings with all matters reserved – approved 17/01/2018
- PA/2020/2012: Approval of reserved matters (appearance, landscaping, layout and scale) pursuant to outline application PA/2017/743 for four dwellings – 17/06/2021

Site constraints

Open countryside (HELA DPD 2016)

Area of Special Historic Landscape (ASHLI)

Site characteristics

The site is accessed from High Street and represents a wider development for four dwellings that are partly located within the open countryside and partly within the ASHLI. The scheme is largely shielded from making more than a limited impact upon the street scene given it is screened by existing dwellings fronting the High Street.

Proposal

This application seeks to vary the design of the approved house type on plot 2 associated with application PA/2020/2012. The proposal would add rooms to the attic and a single-storey side element. The windows would also be repositioned and altered.

The proposed materials are TBS Farmhouse Antique bricks with red concrete double pantile and antique cream windows. The proposal would not alter the previously approved access arrangement nor reduce the off-street parking provision. The height and position of the dwelling would remain the same. **The following issues are therefore relevant to this proposal:**

- **impact upon the area's character and appearance**
- **impact upon residential amenity rights.**

Character and appearance

In respect of impact on character, policy DS1 states that the design and external appearance of a proposal should reflect or enhance the character, appearance and setting of the immediate area. Policy CS5 of the Core Strategy tasks developers with finding context but does not discount contemporary design. Policy LC14 states that the Isle of Axholme is designated as an area of Special Historic Landscape Interest (ASHLI). Within this area, development will not be permitted which would destroy, damage, or adversely affect the character, appearance or setting of the historic landscape, or any of its features. Policy RD2 is concerned with development in the open countryside and is considered relevant.

The change to the design for plot 2 provides a single-storey, dual-pitched element to the side. There is also a change in fenestration and the loft space has been changed to habitable rooms, the latter necessitating rooflights in the rear pitch. The applicant also proposes solar panels on this pitch.

The scale and massing of the proposal is not overly altered, the height and width of the main body of the dwelling remaining the same. The side extension would add approximately 2.3m. The changes would therefore have limited wider impacts over what has previously been approved. The impacts then would be localised; however, given the screening from the High Street and the modest scale of the side addition, these changes are not unacceptable.

The HER department have made comment that they have no objections subject to the removal of permitted development rights for householder extensions. It is considered that justification for this measure does not exist as no harm has been identified by the department other than a comment on the generic character of the area. Given the location of the dwelling set back from the road and the views toward the dwelling from the rear that are set across the backdrop of Haxey, any development allowed under the General Permitted Development Order 2015 (as amended) would not give rise to unacceptable wider harm. Therefore, the condition is considered unreasonable and will not be attached.

The materials proposed are considered acceptable, as are the changes to the fenestration, the inclusion of rooflights and solar panels. The proposal, when considered against what has been previously approved, is considered to align with the aforementioned planning policies.

Residential amenity

Policy DS1 is partly concerned with impacts upon residential amenity. It states that no unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing. Policy H7 is concerned with tandem and backland development and is also relevant, along with policy H5 of the local plan.

Given the limited increase in scale through the side extension, it is considered that the net increase in overshadowing and overbearing impacts as a result of the built form are limited. Furthermore, all openings project either to the rear or to the front and over the garaging and off-street parking provision. There is an increase in the number of openings, however they are smaller and would offer views into the same locations as the house type already approved. The parish council have objected on the grounds of reduced amenity area but

the built form only takes an amount of garden land from the side of the property; the rear remains intact. Furthermore, this same footprint could be achieved under permitted development rights. The proposal is therefore considered to align with policies DS1, H5 and H7 of the local plan.

Conclusion

The proposal represents a modest addition in built form to the side of the property. The other alterations to fenestration, materials and the inclusion of solar panels are also acceptable.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development hereby permitted shall be carried out in accordance with the following approved plans:

Proposed Site Plan P103

Proposed Elevations P102 Rev 1

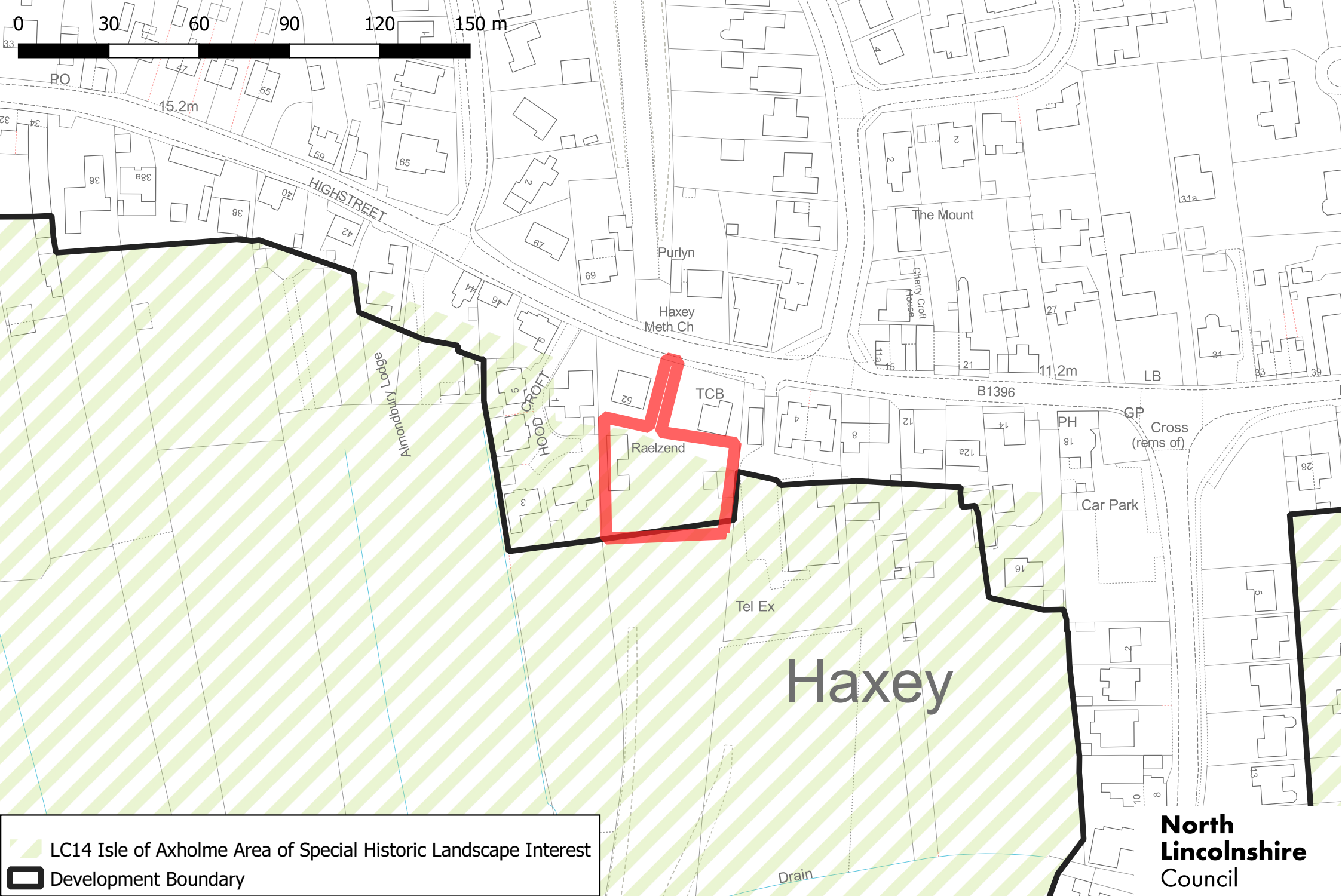
Materials specification contained within the supporting statement.



Reason

For the avoidance of doubt and in the interests of proper planning.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



 LC14 Isle of Axholme Area of Special Historic Landscape Interest
 Development Boundary

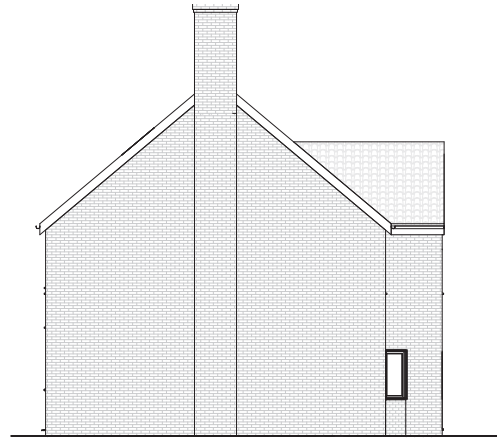
**North
Lincolnshire
Council**

PA/2021/1873

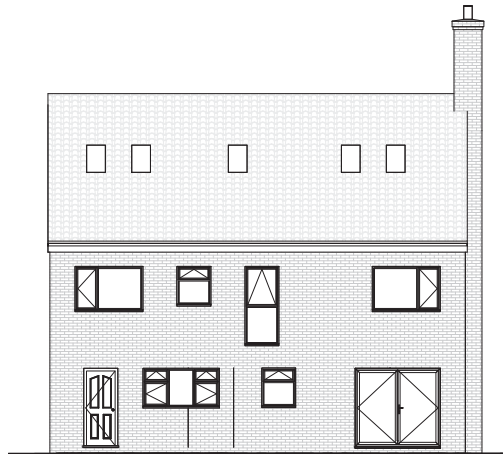
PA/2021/1873 Existing elevations (not to scale)



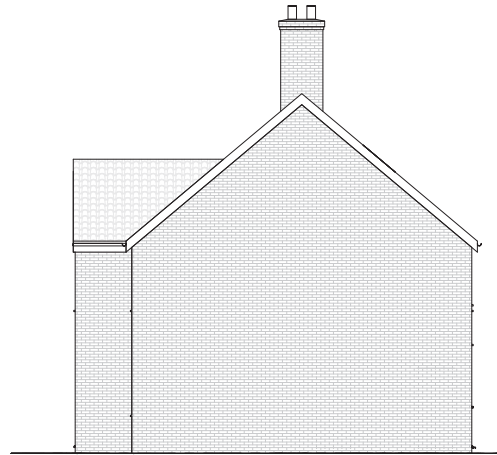
1 Front Elevation
1 : 100



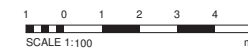
2 Existing Side Elevation
1 : 100



3 Rear Elevation
1 : 100



4 Existing Side Elevation 1
1 : 100



Address: Office 1, Askern House,
Askern, Doncaster, DN6 0AA
Email: info@3dppd.co.uk
Telephone: 01302 239000
Web: www.3dppd.co.uk

All dimensions and sizes to be verified by the Contractor on site. Drawings to be read in conjunction with engineers details. The structural engineers details take precedence over the architectural drawings.

No dimensions to be scaled from this drawing. Contractors must work to figured dimensions.

Precision Plan Drawing will have no liability for any errors or inaccuracies.

© This drawing is subject to copyright of Precision Plan Drawing Limited.

CDM REGULATIONS 2015
The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

Domestic clients
The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

Further information can be obtained from the HSE following this link: <http://www.hse.gov.uk/construction/cdm/2015/domestic-clients.htm>

No.	Description	Date

PROJECT ADDRESS

Plot 2 land rear of 52 High Street, Haxey, Doncaster DN9 2HH

PROJECT NAME

Substitution of house type Plot 2

SHEET NAME

Elevations

DRAWN BY
LO

CHECKED BY
Checker

DATE
13/09/21

SCALE (@A2)
1 : 100

PROJECT NUMBER
400

DRAWING NUMBER
E102

REV

PA/2021/1873 Proposed elevations (not to scale)



Address: Office 1, Askern House,
Askern, Doncaster, DN6 0AA
Email: info@3dppd.co.uk
Telephone: 01302 239000
Web: www.3dppd.co.uk

All dimensions and sizes to be verified by the Contractor on site.
Drawings to be read in conjunction with engineers details.
The structural engineers details take precedence over the architectural drawings.

No dimensions to be scaled from this drawing. Contractors must work to figured dimensions.

Precision Plan Drawing will have no liability for any errors or inaccuracies.

© This drawing is subject to copyright of Precision Plan Drawing Limited.

CDM REGULATIONS 2015
The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

Domestic clients
The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

Further information can be obtained from the HSE following this link:
<http://www.hse.gov.uk/construction/cdm/2015/domestic-clients.htm>

No.	Description	Date
1	solar panels	11/10/21

PROJECT ADDRESS

Plot 2 land rear of 52 High Street, Haxey, Doncaster DN9 2HH

PROJECT NAME

Substitution of house type Plot 2

SHEET NAME Elevation

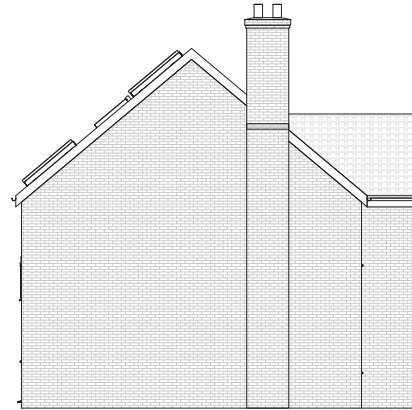
DRAWN BY LO CHECKED BY KO DATE 13/09/21

SCALE (@A2) 1:100 PROJECT NUMBER 400

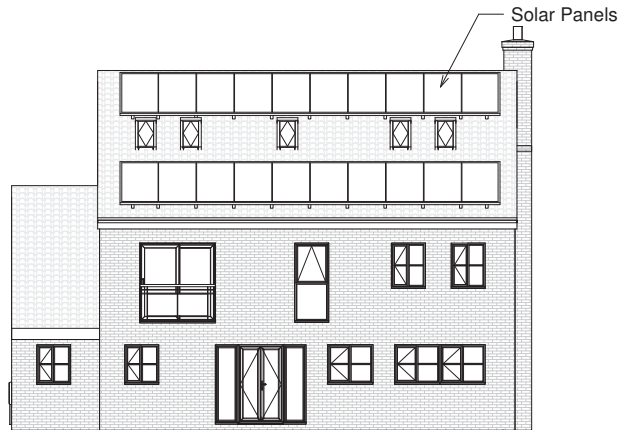
DRAWING NUMBER P102 REV 1



1 Proposed Front Elevation
1 : 100



2 Proposed Side Elevation
1 : 100



3 Proposed Rear Elevation
1 : 100



4 Proposed Side Elevation 1
1 : 100

